

NOTICE

A meeting of the City of Evansville Plan Commission will be held on the date and time stated below. Notice is further given that members of the City Council and Historic Preservation Commission may be in attendance. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall at (608)-882-2266 with as much notice as possible.

City of Evansville **Plan Commission**
Regular Meeting
City Hall, 31 S Madison St., Evansville, WI 53536
Tuesday, October 1st, 2024, 6:00 pm

AGENDA

1. Call to Order
2. Roll Call
3. Motion to Approve Agenda
4. Motion to waive the reading of the minutes from the September 3rd, 2024 meeting and approve them as printed.
5. Civility Reminder
6. Citizen appearances other than agenda items listed.
7. Discussion Items
 - A. Public Hearing for Land Division Application LD-2024-11 for a preliminary subdivision plat (Settler's Grove) on parcel 6-27-970C.2
 - B. Review and Action for Land Division Application LD-2024-12 for a preliminary and final plat on parcels 6-27-862 (60 N Union), and Rezoning Application RZ-2024-04 to zone the entirety of Lot 1 of that plat to B-3 and Outlot 1 to C-1.
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motions with Conditions
 - C. Review and Action for Land Division Application LD-2024-13 for a preliminary and final Certified Survey Map to combine parcels 6-27-661 and 6-27-541 (421 Almeron St)
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - D. Review and Action for Land Division Application LD-2024-14 for a preliminary and final Certified Survey Map on parcel 6-27-316.368 (649/651 Windsor Lane)
 1. Review Staff Report and Applicant Comments
 2. Public Hearing
 3. Plan Commissioner Questions and Comments
 4. Motion with Conditions
 - E. Review and Action for Land Division Application LD-2024-15 for a preliminary and final

-Mayor Dianne Duggan, Plan Commission Chair

Certified Survey Map on parcel 6-27-559.5067 (601 Porter Road/305 S. Sixth Street)

1. Review Staff Report and Applicant Comments
2. Public Hearing
3. Plan Commissioner Questions and Comments
4. Motion with Conditions

F. Review and Action for Conditional Use Application CUP-2024-04 to for an Indoor Commercial Entertainment Use on parcel 6-27-20.2 (26 W Main)

1. Review Staff Report and Applicant Comments
2. Public Hearing
3. Plan Commissioner Questions and Comments
4. Motion with Conditions

G. Review and Action for Site Plan Application SP-2024-03 for an office expansion on parcel 6-27-866 (340 Union Street)

1. Review Staff Report and Applicant Comments
2. Plan Commissioner Questions and Comments
3. Motion with Conditions

H. Review and Possible Action for Annexation Application A-2024-01 to annex parcel 6-20.6-20-326.506 from the Town of Union to the City of Evansville

1. Review Staff Report and Applicant Comments
2. Public Hearing
3. Plan Commissioner Questions and Comments
4. Motion with Conditions

I. Review and Action for Annexation Application A-2024-02 to annex parcels 6-20-305, 6-20-305.01, and 6-27-219B from the Town of Union to the City of Evansville

1. Review Staff Report and Applicant Comments
2. Public Hearing
3. Plan Commissioner Questions and Comments
4. Motion with Conditions

8. Community Development Report

9. Upcoming Meeting: November 5th, 2024 at 6:00pm

10. Adjourn

-Mayor Dianne Duggan, Plan Commission Chair

**City of Evansville Plan Commission
Regular Meeting
Tuesday, September 3rd, 2024, 6:00 p.m.**

MINUTES

1. Call to Order at 6:00pm.

2. Roll Call:

Members	Present/Ab sent	Others Present
Mayor Dianne Duggan	P	Colette Spranger (Community Dev. Director)
Aldersperson Gene Lewis	P	Jason Sergeant, City Administrator
Aldersperson Abbey Barnes	P	Joe Geoffrion
Bill Lathrop	P	Roger Berg
John Gishnock	P	
Mike Scarmon	P	
Eric Klar	P	

3. Motion to approve the agenda, by Lathrop, seconded by Barnes. Approved unanimously.

4. Motion to waive the reading of the minutes from the August 6, 2024 meeting and approve them as printed, by Scarmon, seconded by Lathrop. Approved unanimously.

5. Civility Reminder. Duggan noted the City’s commitment to conducting meetings with civility.

6. Citizen appearances other than agenda items listed.

7. Discussion Items.

A. Settler’s Grove Preliminary Plat and Concept Plan

Spranger discussed the application in comparison to a previous application submitted for the plat which had included more lots than what is presently being applied for. Discussion was held regarding the housing density goals within the city. Sergeant advised that the goal is to look for more dense housing to be more economically durable. Lathrop asked Geoffrion what is driving the size of the lots proposed. Geoffrion explained that buyers want larger lots. Sergeant asked what density goals the land dividers agreement should shoot for. Duggan advised that increased density would be preferable. Lathrop stated he wants phase 1 to be 3.66 units/acre.

B. Update on Culver’s Wetland Delineation and Adjusted Site Plan

Spranger advised that the city has gotten word that the shoreland-wetland zoning does not apply. Spranger stated that the wetland was determined to be less susceptible, putting the setback requirement at an average of 15 feet for this site.

8. Community Development Report

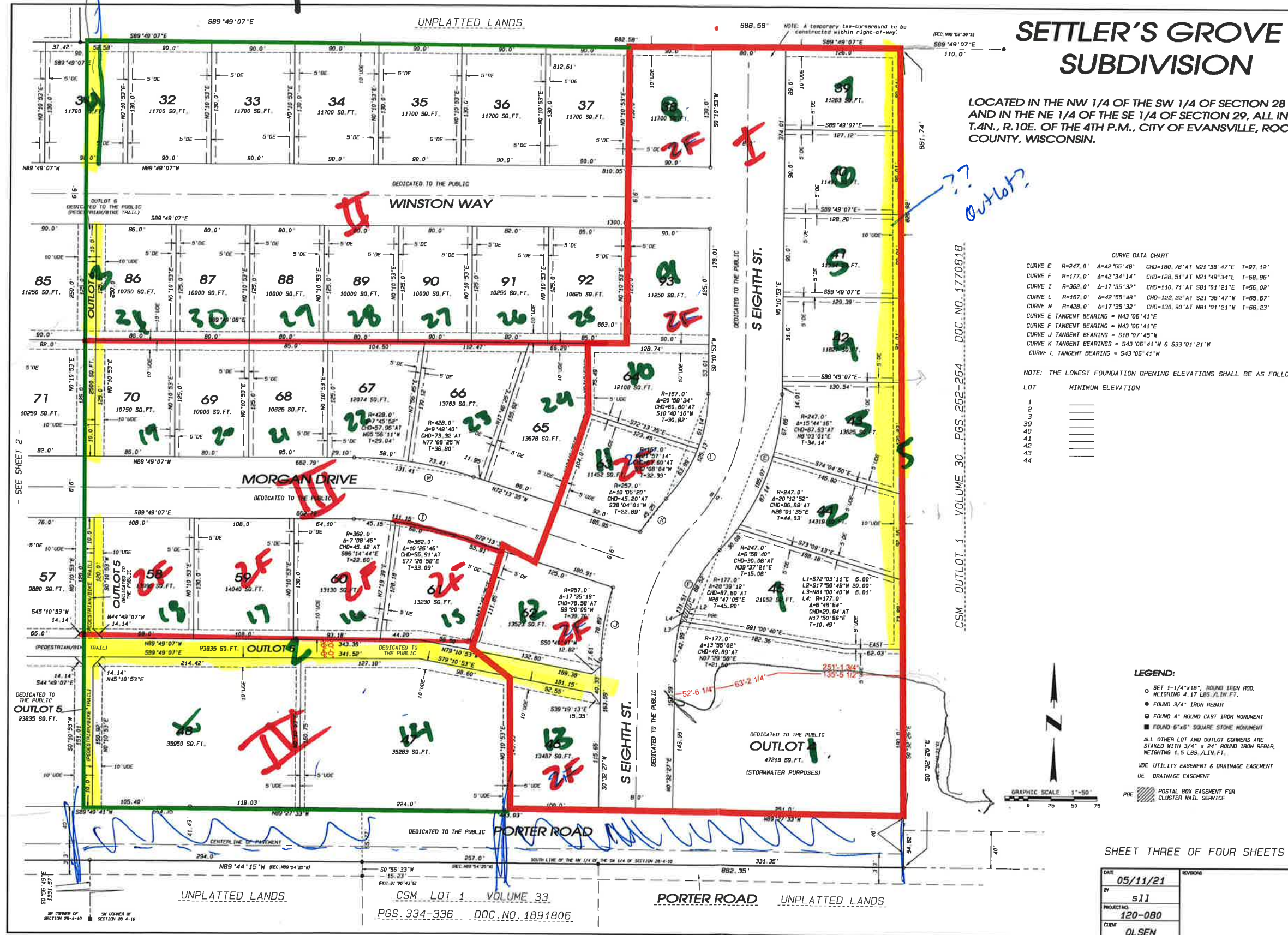
None.

9. Next Meeting Date:

Tuesday, October 1, 2024 at 6:00 p.m.

10. Adjourn. 6:53 p.m.

Proposed Plat Discussed With Applicant



Proposed Multiuse Paths
 Lot numbers
 Phasing

outlot?

CSM OUTLOT 1 VOLUME 30 PGS. 262-264 DOC. NO. 1770818

SEE SHEET 2

SE CORNER OF SECTION 28-4-10 SW CORNER OF SECTION 29-4-10

CSM LOT 1 VOLUME 33 PGS. 334-336 DOC. NO. 1891806

PORTER ROAD UNPLATTED LANDS


APPLICATION FOR PRELIMINARY AND FINAL DIVISION AND REZONE - STAFF REPORT
Applications: LD-2024-07, RZ-2024-04

Applicant: RonBar Evansville LLC

Parcel 6-27-862

October 1, 2024

Prepared by: Colette Spranger, Community Development Director

 Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Location: 60 N. Union

Description of request: An application has been made to divide an undeveloped 261,360 square foot lot to a buildable lot and an outlot. Plan Commission will also review and recommend an application to rezone parts of Lot 1 that are Agriculture to B-3 Community Business and rezone Outlot 1 to C-1 Lowland Conservancy.

Existing Uses: Undeveloped. Proposed Lot 1 has planning and zoning entitlements from the City to develop a Culver's restaurant.

Existing Zoning: B-3 Community Business and A Agriculture

Proposed Land Division: The CSM will divide the parcel between areas that are developable versus those that have a variety of building limitations. Lot 1 is proposed to be 65,235 square feet (1.5 acres) and has the planning and zoning entitlements from the City to develop a Culver's restaurant. Outlot 1 will contain the remaining 196,121 square feet (4.5 acres). Floodplain, wetlands, and hydric soils are present on Outlot 1, which would limit most future development beyond recreation or natural resource preservation.

Review by the Municipal Services Committee

Review of the application by the Municipal Services Committee found that the application would not result in undue constraints on existing municipal utility infrastructure. The committee voted unanimously to recommend that Common Council approve the application.

Per the City's Land Division ordinance, all subdivision applications (including CSMs) should be reviewed by the Municipal Services Committee. The purpose of this review is to analyze three factors.

- 1) Whether existing municipal utility infrastructure (such as a sanitary sewer lift station or water booster station) must be upgraded or constructed

- 2) The extent to which the plat or map allows for street access and, if appropriate, utility service to be extended in the future to any adjacent, undeveloped properties
- 3) The extent to which the plat or map adequately addresses regional storm water management.

Per City staff review, Lot 1 has frontage along Union Street/US Highway 14 with access to water, sewer, and stormwater infrastructure. Development on Lot 1 will not generate a need for significant infrastructure improvements or negatively impact existing infrastructure. Outlot 1 will not need city services as most types of intensive development will be barred from happening through its proposed zoning designation.

A public hearing for both land division and rezoning will be held at the regular Plan Commission meeting on October 1st.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

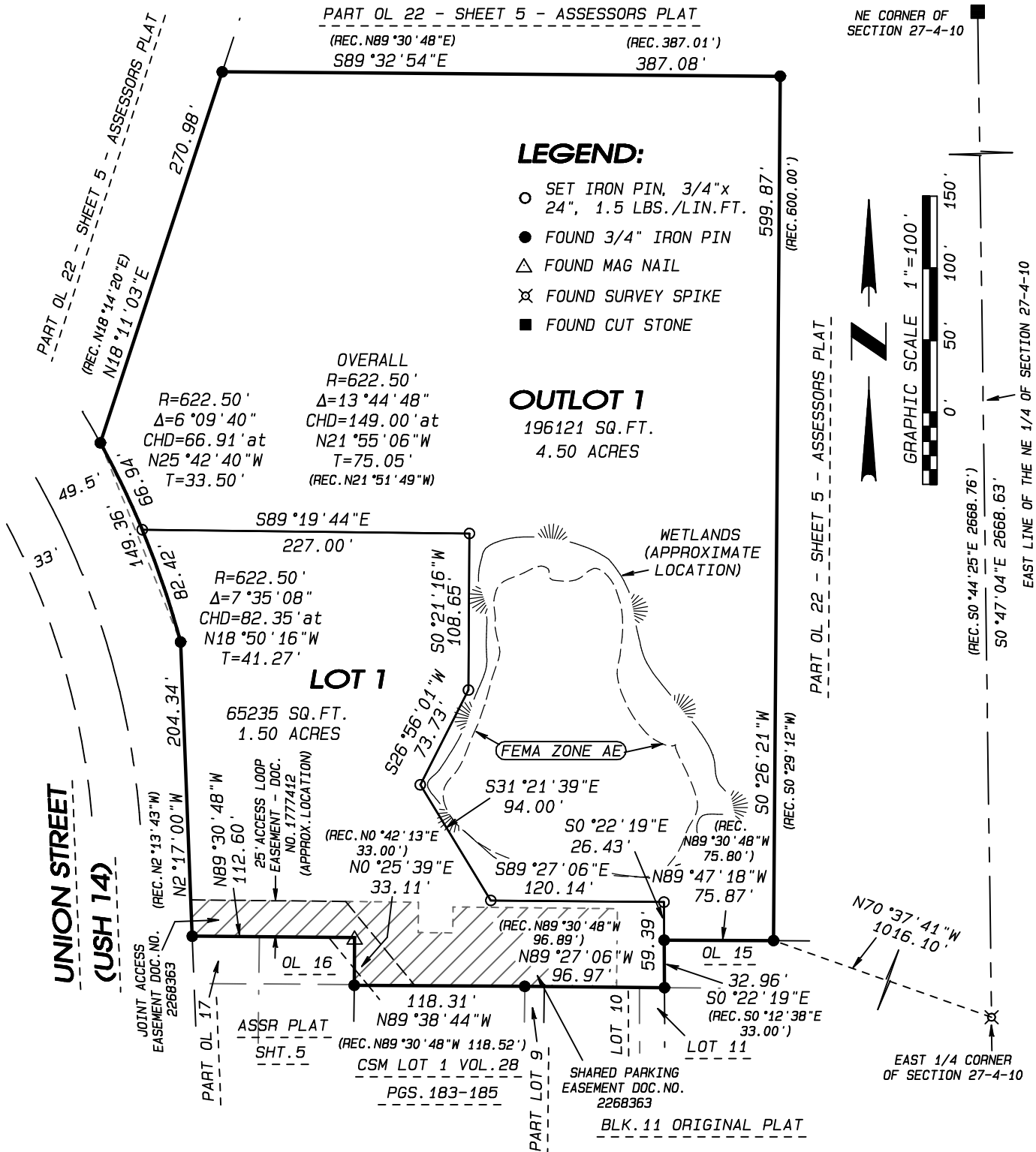
Staff Recommended Motion:

Motion to recommend Common Council approve a certified survey map to divide parcel 6-27-862 into Lot 1 and Outlot 1, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the condition that the final CSM is recorded with Rock County Register of Deeds.

Motion to recommend Common Council approve Ordinance 2024-12, Rezoning Territory at 60 N. Union Street.

CERTIFIED SURVEY MAP

LOT 1 OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 30, PAGES 240 THRU 242 OF CERTIFIED SURVEY MAPS OF ROCK COUNTY, WISCONSIN, AS DOCUMENT NO. 1767449 AND LOCATED IN THE SE 1/4 OF THE NE 1/4, SW 1/4 OF THE NE 1/4, NE 1/4 OF THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4 OF SECTION 27, T.4N., R.10E. OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN. FORMERLY BEING PART OF OUTLOT 22, SHEET 5 OF THE ASSESSOR'S PLAT OF EVANSVILLE.



NOTE: FIELDWORK COMPLETED _____

NOTE: ASSUMED S0°47'04"E ALONG THE EAST LINE OF THE NE 1/4 OF SECTION 27-4-10.

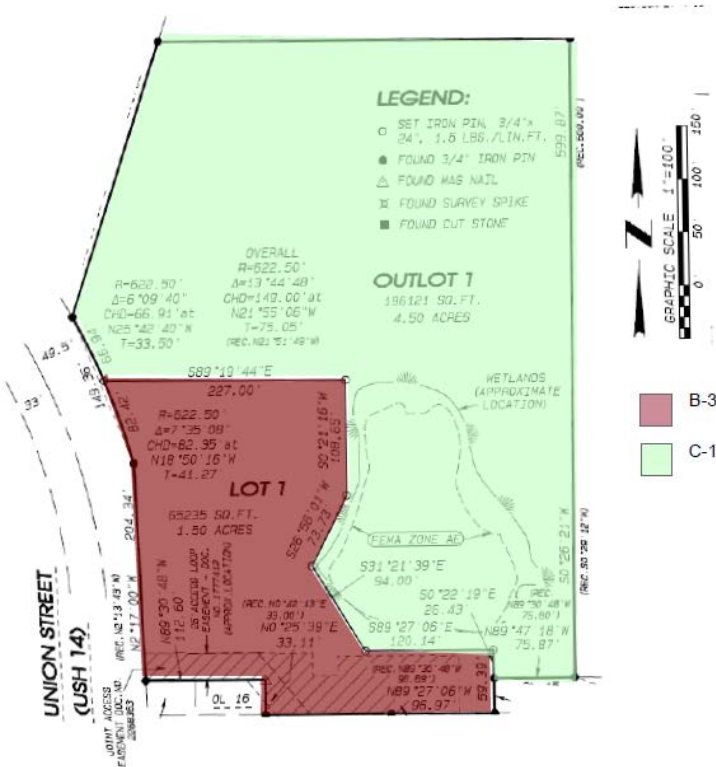
CITY OF EVANSVILLE
ORDINANCE # 2024-12

An Ordinance Rezoning Territory to B-3 Community Business District and C-1 Lowland Conservancy District

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Land Division. Whereas the Common Council of Evansville reviewed and approved a land division application for parcel 6-27-862 (222 065023), dividing the parcel in a lot and outlot. Parcel 6-27-862 previously had split zoning of B-3 Community Business District and A Agriculture.

SECTION 2. Zoning Classification. In accordance with Section 130-171 to 130-176, Evansville Municipal Code, Section 62.23(7)(d)2 of the Wisconsin State Statutes and upon recommendation of the Plan Commission and the findings of the Common Council that such zoning district change is in the best interest of the City, and all necessary notices having been given, and the required public hearing having been held, and the Plan Commission having made its recommendation of approval in writing to the Common Council, that the zoning classification of parcels be changed to the following: Lot 1 to B-03 Community Business District and Outlot 1 to C-1 Lowland Conservancy District. The area to be rezoned is indicated on the map below:



SECTION 3. Zoning Map Amendment. The official zoning map, City of Evansville, Wisconsin, is hereby amended to show the territory described in Section 1 as B-3 and C-1.

SECTION 4. Severability. If any provision of this Ordinance is invalid or unconstitutional, or if the application of the Ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this Ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 5. Effective Date. This Ordinance shall take effect upon its passage and publication as provided by law.

Passed and adopted this _____ day of _____, 2024.

Dianne C. Duggan, Mayor

ATTEST:
Leah L. Hurtley, City Clerk

Introduced: 10/01/2024
Notices published: 9/20/2024, 9/24/24
Public hearing held: 10/01/2024
Adopted: _____
Published: (within 10 days of adoption)

Sponsor: This ordinance was initiated by a landowner application for a zoning map amendment.

Drafted on September 27, 2024 by Colette Spranger, Community Development Director


APPLICATION FOR PRELIMINARY AND FINAL DIVISION AND REZONE - STAFF REPORT
Applications: LD-2024-13

Applicant: Kathleen Skamel

Parcel 6-27-661 and 6-27-541

September 23, 2024

Prepared by: Colette Spranger, Community Development Director

 Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Location: 421 Almeron Street

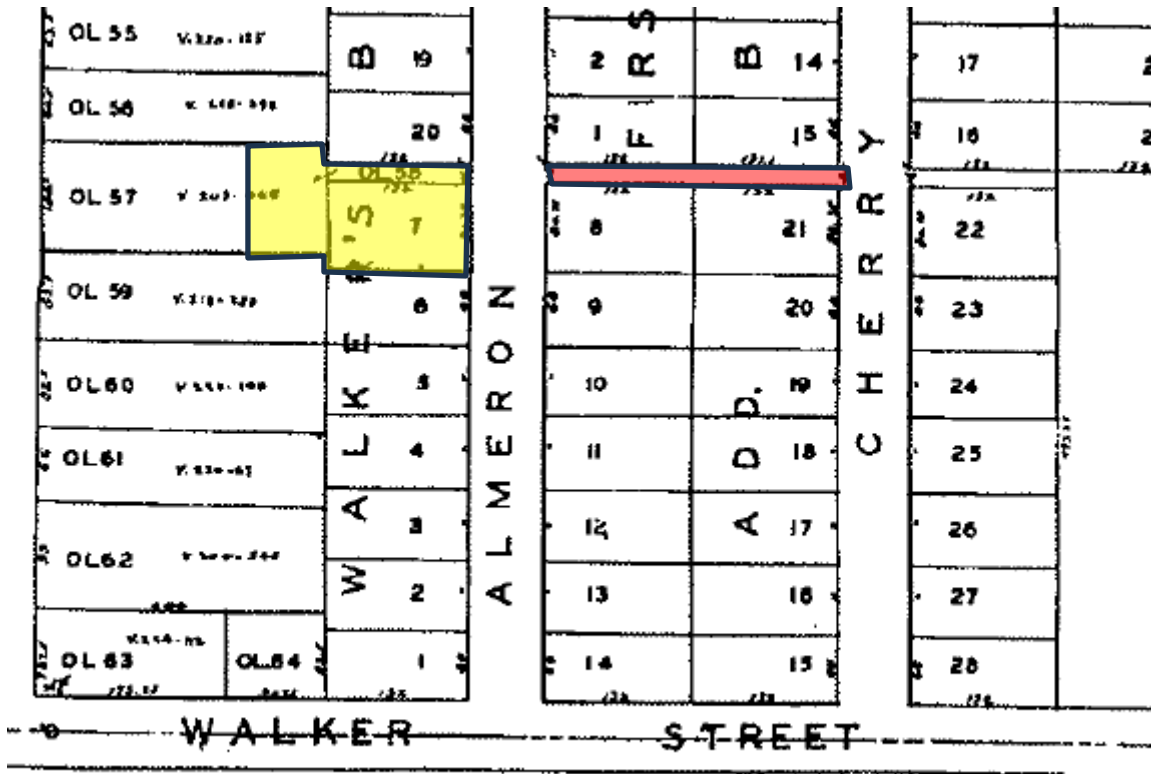
Description of request: An application has been made to combine adjacent parcels owned by the same person.

Existing Uses: Parcel 6-27-661 has an unaddressed garage and parcel 6-27-541 has a single family residence.

Existing Zoning: R-1 Residential District One

Proposed Land Division: The proposed lot would be larger than others in the neighborhood, reflecting what likely was a lot line adjustment between parcel 6-27-661 and 422 S Madison Street to its west. However, per the City subdivision ordinance "if additional lots are not thereby created and the lots resulting are not reduced below the minimum sizes required by Wis. Stats. Ch. 236, this chapter, or Chapters 18 (Building) and 130 (zoning), then the application does not technically need to follow the provisions of approval outlined in Chapter 110 (Subdivisions). This combination of lots fixes a non-conforming flag lot that lacks the appropriate street frontage for lots in the R-1 zoning district. The resulting lot is larger than the maximum area set by ordinance, but lot size maximums are applied only to lots in newly platted subdivisions.

This proposed combination caught staff's eye because of a perceived gap in the City's land records for an adjacent alleyway. Initially it was thought that these parcels might contain areas originally platted for right-of-way, but after an exhaustive search of prior plats, a 1926 assessor's plat of the area does indeed reveal a "gap" (or – an area lacking a legal description) where the current alleyway appears to be. OL 58 on that plat appears to be a connection between what is now 422 S Madison and Almeron Street, and not a lot created as part of Walker's Addition, which platted the lots along Almeron Street.



Yellow area shows lots proposed for combination with this application.

Red areas shows City alleyway that lacks a legal description.

Per the City's Land Division ordinance, all subdivision applications (including CSMs) should be reviewed by the Municipal Services Committee.

Review by the Municipal Services Committee

A review by the committee found that no existing municipal infrastructure would need to be upgraded or constructed due to this application. The committee voted unanimously to recommend Common Council approve the application.

A public hearing for the land division will be held at the regular Plan Commission meeting on October 1st. Although this is not strictly necessary per the Subdivision ordinance, staff felt it important to illustrate the unique configuration of the site and status of the City alley.

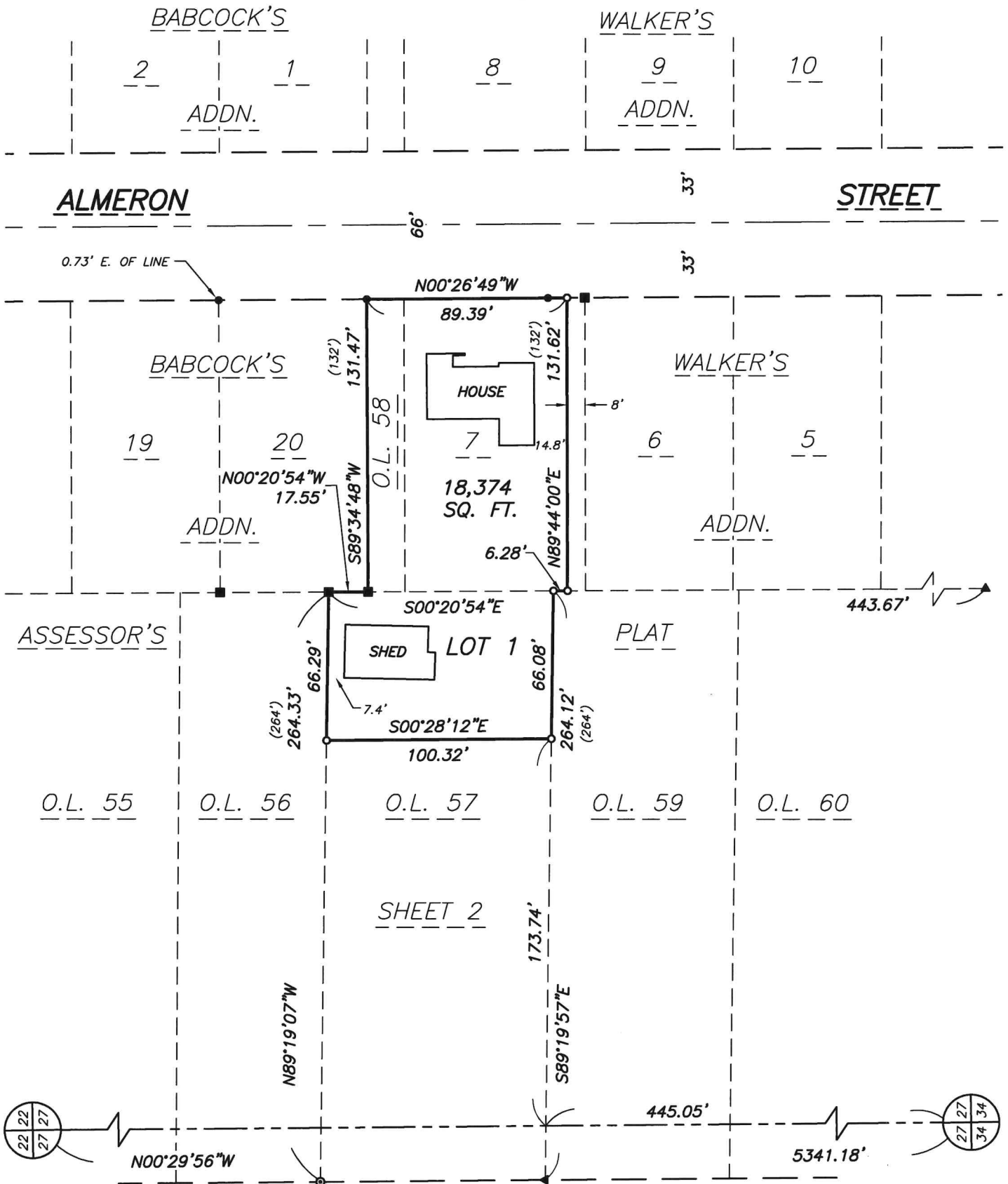
Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

Staff Recommended Motion:

Motion to recommend Common Council approve a certified survey map to combine parcels 6-27-661 and 6-27-541 into one lot, finding that the application is in the public interest and meets the objectives contained within Section 110-4(5) of city ordinances, with the condition that the final CSM is recorded with Rock County Register of Deeds.

CERTIFIED SURVEY MAP NO. _____

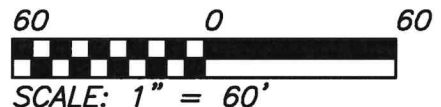
Outlot 58 and part of Outlot 57 of Sheet 2 of the Assessor's Plat and part of Lot 7 of Walker's Addition, being in the Southwest 1/4 of the Southeast 1/4 of Section 27, Town 4 North, Range 10 East, City of Evansville, Rock County, Wisconsin.



VOL. _____
PAGE _____

PREPARED FOR:
Troy Worrall
421 Almeron Street
Evansville, WI 53536
(608) 712-4477

JOB NO. 24115
POINTS 24115
DRWG. 24115_1
DRAWN BY MST



TALARCZYK
LAND SURVEYS LLC

517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyk-surveys.com



APPLICATION FOR PRELIMINARY AND FINAL LAND DIVISION – STAFF REPORT

Application: LD-2024-14

Applicant: Noah & Rebecca Hurley Revocable Living Trust

Parcel 6-27-316.368

September 24, 2024

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263



Figure 1 Approximate Location Map

Note: this application was first submitted and reviewed by the applicant in 2022. The approved final certified survey map was never recorded. As such, the approval has expired and the must re-authorize the request if it chooses.

Location: 621 and 623 Windsor Lane, City of Evansville

Description of request: An application has been made to divide the lot into two along the shared wall of a duplex, also known as a zero lot line Certified Survey Map.

Existing Uses: The existing 27,617 square foot (0.63 acre) parcel is developed with a two-family residence with two separate dwelling units. Until recently, the two units had been rented out by the landowner. The two units share a driveway and have yard spaces in common, in addition to the common wall adjoining the building. In order for the landowner to sell each unit separately, the units must be legally divided.

Existing Zoning: The lot is currently zoned R-2.

Proposed Land Division: The CSM will divide the parcel into two lots, using the common wall of the building as a lot line. This kind of land division is commonly referred to as a zero lot line CSM. Lot 1 is proposed to be 13,647 square feet (0.31 acres) and will include the dwelling unit with the address of 621 Windsor Lane. Lot 2 will contain the remaining 13,970 square feet (0.62 acres) and the dwelling unit addressed at 623 Windsor Lane. A joint cross-access and maintenance agreement has been submitted along with the land division application, as is required by Sec. 130-323(5) of the Municipal Code.

Review by the Municipal Services Committee

A review by the committee found that no existing municipal infrastructure would need to be upgraded or constructed due to this application. Per state building code and city utility policies, both units have separate water and sewer service laterals and individual water and electric service. The committee voted unanimously to recommend Common Council approve the application.

A public hearing for the land division will be held at the regular Plan Commission meeting on October 1st.

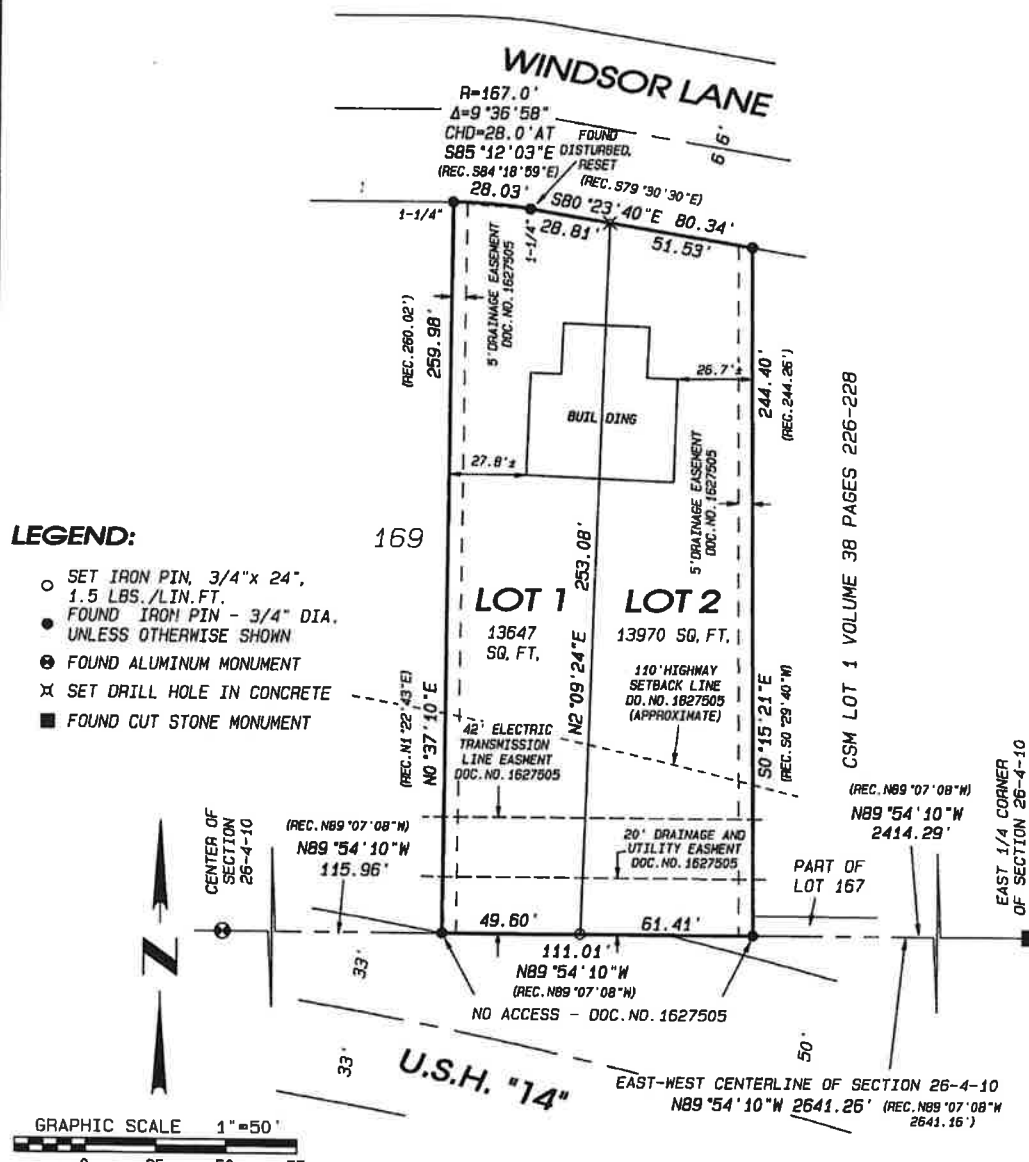
Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

Plan Commission Recommended Motion: *Motion for Common Council to approve a certified survey map to divide parcel 6-27-316.368 into two lots for a two-family twin residence, located at 621 and 623 Windsor Lane, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:*

- 1. The final certified survey map is recorded with Rock County Register of Deeds.*
- 2. A joint maintenance and cross access agreement is then made and recorded against both properties.*

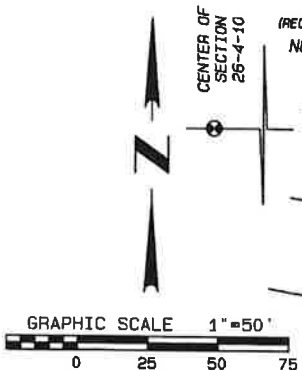
CERTIFIED SURVEY MAP

LOT 168, COUNTRYSIDE ESTATES PLAT NO. 7, LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SECTION 26, T.4N., R. 10E. OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.



LEGEND:

- SET IRON PIN, 3/4" x 24", 1.5 LBS./LIN.FT.
- FOUND IRON PIN - 3/4" DIA. UNLESS OTHERWISE SHOWN
- ⊙ FOUND ALUMINUM MONUMENT
- ⊗ SET DRILL HOLE IN CONCRETE
- FOUND CUT STONE MONUMENT



NOTES:

FIELDWORK COMPLETED _____
 ASSUMED $N89^{\circ}54'10''W$ ALONG THE EAST-WEST CENTERLINE OF SECTION 26-4-10.

Project No. 121 - 687 For: HURLEY SHEET 1 OF ___ SHEETS

Combs & Associates

- LAND SURVEYING
- LAND PLANNING
- CIVIL ENGINEERING

309 N. Milwaukee St.
 Janesville, WI 53548
 www.combsurvey.com

tel: 608 752-0575
 fax: 608 752-0534



APPLICATION FOR PRELIMINARY AND FINAL LAND DIVISION – STAFF REPORT

Application: LD-2024-15 **Applicant:** Forward Investment Properties LLC

Parcel 6-27-559.5067

October 1, 2024

Prepared by: Colette Spranger, Community Development Director
 Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

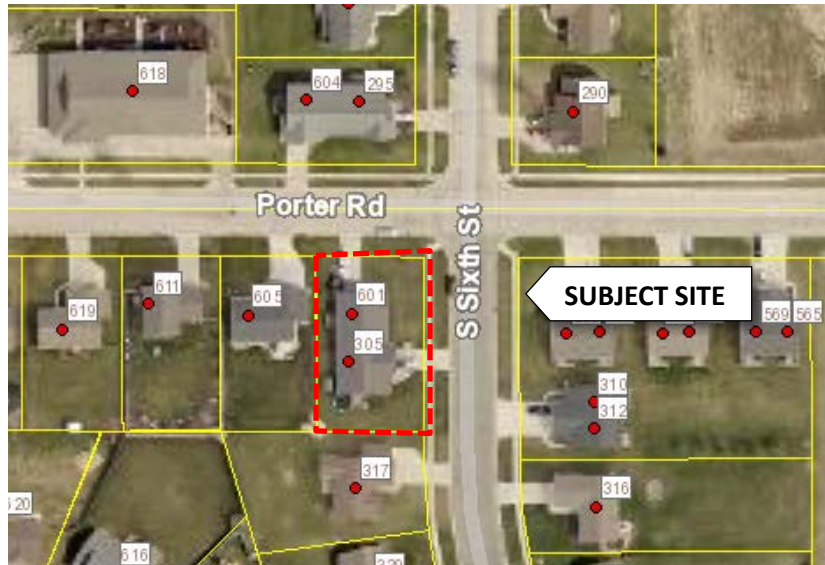


Figure 1 Approximate Location Map

Note: this application was first submitted and reviewed by the applicant in 2022. The approved final certified survey map was never recorded. As such, the approval has expired and the must re-authorize the request if it chooses.

Location: 601 Porter Road and 305 South Sixth Street, City of Evansville

Description of request: An application to divide parcel 6-27-559.5067, Lot 67 of the Westfield Meadows subdivision, along the shared wall of a duplex.

Existing Uses: The existing 13,084 square foot (0.3 acre) parcel is developed with a two-family residence with two separate dwelling units. Until recently, the two units had been rented out by the landowner. The two units do not share a driveway but do have yard spaces in common, in addition to the common wall adjoining the building. In order for the landowner to sell each unit separately, the units must be legally divided.

Proposed Land Division: The CSM will divide the parcel into two lots, using the common wall of the building as a lot line. This kind of land division is commonly referred to as a zero lot line CSM. Lot 1 is proposed to be 6,529 square feet (0.15 acres) and will include the dwelling unit with the address of 601 Porter Road. Lot 2 will contain the remaining

6,555 square feet (0.15 acres) and the dwelling unit addressed at 305 South Sixth Street. A joint cross-access and maintenance agreement has been submitted along with the land division application, as is required by Sec. 130-323(5) of the Municipal Code.

Review by the Municipal Services Committee

A review by the committee found that no existing municipal infrastructure would need to be upgraded or constructed due to this application. Per state building code and city utility policies, both units have separate water and sewer service laterals and individual water and electric service. The committee voted unanimously to recommend Common Council approve the application.

A public hearing for the land division will be held at the regular Plan Commission meeting on October 1st.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division and land uses are thoroughly consistent with the Future Land Use Map of the Comprehensive Plan. The proposal complies with the design standards and environmental considerations as set forth in the Land Division and Zoning Ordinances.

Plan Commission Recommended Motion: *Motion for Common Council to approve a certified survey map to divide parcel 6-27-559.5067 into two lots for a two-family twin residence, located at 601 Porter Road and 305 S. Sixth Street, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:*

- 1. The final certified survey map is recorded with Rock County Register of Deeds.*
- 2. A joint maintenance and cross access agreement is then made and recorded against both properties.*



APPLICATION FOR CONDITIONAL USE PERMIT – STAFF REPORT

Application: CUP-2024-04 **Applicant:** Makenzie Schoenenberger

Parcel 6-27-20.2

October 1, 2024

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: C.spranger@evansvillewi.gov or 608-882-2263



Note: This applicant came to Plan Commission in May for the same use, but across the street within the Grange building. The applicant has since acquired a lease for a new locations. Per Chapter 130, conditional use permits run with the land and not the business. An indoor commercial entertainment use has not been authorized at this location for over a year. Therefore, a new application must be made for Plan Commission to review the appropriateness of the use for the new location.

Location: 26 W. Main Street

Description of request: The applicant is requesting to operate an indoor children’s activity center, with child-based entertainment and group activities. The applicant is seeking conditional use permit approval to allow an Indoor Commercial Entertainment use on parcel 6-27-20.2 within the B-2 zoning district, addressed at 26 W. Main

Existing/Prior Uses: This location was most recently home to Weirido Thrift, which is closing at the end of September 2024.

Staff Analysis of Request:

The City is keen to encourage business in the downtown that generates foot traffic and encourages customers to visit multiple businesses within the same trip.

The applicant is asking for a waiver for parking requirements due to the shop's location in the B-2 zoning district. Additional parking is also available in the municipal parking lot at the back of the building.

Required Plan Commission findings for Conditional Use Permit request: Section 130-104(3) of the Municipal Code, includes criteria that should be considered in making this decision:

1. **Consistency of the use with the comprehensive plan.** The proposed use in general and in this specific location is consistent with the city's comprehensive plan of September 2022.
Staff Comment: Policies in the Comprehensive Plan provide support for variety and diversification of uses in its historic downtown.
2. **Consistency with the City's zoning code, or any other plan, program, or ordinance.** The proposed use in general and in this specific location is consistent with City's zoning code, or any other plan, program, or ordinance, whether adopted or under consideration pursuant to official notice of the city.
Staff comment: The proposed use is consistent with the City's zoning code and other plans, programs, and ordinances.
3. **Effect on nearby property.** The use will not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the City's zoning code, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city.
Staff Comment: The applicant states that the business hours will be Monday through Sunday, with open hours ranging from 7 am to 8 pm depending on the day. Special events may run later in the evening, ending at 10pm.
4. **Appropriateness of use.** The use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
Staff Comment: The location of the activity center is appropriate and will bring foot traffic and families downtown.
5. **Utilities and public services.** The use will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by the City or any other public agency serving the subject property.
Staff Comment: the property is currently served by public utilities

Required Plan Commission conclusion: Section 130-104(3)(f) of the Municipal Code requires the Plan Commission to determine whether the potential public benefits of the conditional use do or do not outweigh any and all potential adverse impacts. The proposed motion below states that benefits do in fact outweigh any and all potential adverse impacts.

Staff recommended motion for Plan Commission: *Motion to approve a Conditional Use Permit for Indoor Commercial Entertainment per section 130-408 on parcel 6-27-90 located at 33 W Main Street, finding that the benefits of the use outweigh any potential adverse impacts, and that the proposed use is consistent with the required standards and criteria for issuance of a CUP set forth in Section 130-104(3)(a) through (e) of the Zoning Ordinance, subject to the following conditions:*

- 1) *Hours of operation shall be no earlier than 6am and no later than 10pm.*
- 2) *The business operator shall obtain and maintain all City, state, and county permits and licenses as may be required.*
- 3) *Any substantial changes to the business model shall require a review of the existing conditional use permit.*
- 4) *Any changes to signage, outdoor lighting, and/or building façade are subject to approval from the Historic Preservation Commission.*
- 5) *Use cannot create a public nuisance as defined by local and state law.*
- 6) *The Conditional Use Permit is recorded with the Rock County Register of Deeds.*



SITE PLAN APPLICATION – STAFF REPORT

Applications: SP-2024-03

Applicants: DeLong Company (represented by Zach Scott)

Parcel: 6-27-866 **Location:** 340 Union Street

October 1, 2024

Prepared by: Colette Spranger, Community Development Director
Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Description of request: The applicant is seeking approval for a building expansion and driveway paving on an existing gravel driveway.

Current zoning district: A Agriculture

Site Plan Approval History

- **2005.** A conditional use permit for a group development and site plan approval for a 7,200 square foot building for seed storage.
- **2012.** A site plan approved for a 1,458 square foot building addition for office/storage space. A landscape plan approved at the time exceeded the points required due to impervious surface, which considered gravel areas as part of impervious surfaces. Prior approvals also acknowledged the site's exception from zoning ordinance standards for paving in its parking/driveway areas.

Interior renovations have occurred on site over time as well.

Current zoning

All prior versions of City zoning maps have indicated this property to be in the A Agriculture district. The 2012 site plan review indicated that the portion on which DeLong sits was zoned B-3, but staff does not believe that to be the case. Agricultural Service Uses like DeLong are appropriate and permitted by conditional use within the A Agriculture District. It appears that this use predates the existing zoning code regulations regarding Agricultural Service Uses and is therefore grandfathered in as a permitted use for this site.

Staff Analysis of Request:

The applicant has submitted a site plan that depicts the 963 square foot addition of an office area with bathroom facilities off an existing seed warehouse. The parcel is uniquely laid out, in that the DeLong Company and the Mobil station to the north lease portions of land from a much larger parcel.

The applicant inquired about putting the addition on a private septic system. This will not be allowed as City services are already present elsewhere on site.

The applicant also proposes paving more of the gravel driveway and parking lot on site. Prior approvals allowed for gravel drive areas on site; therefore, staff is satisfied that increased paved parking areas bring this site closer to current zoning standards.

In consulting with the City Engineer, it was agreed that an updated stormwater management plan for the entire site was not warranted for the 963 square foot addition. Stormwater requirements were already calculated with the assumption that this part of the site acted as impervious surface.

Because this application does not propose increased impervious surface, no additional landscape points will be required. Furthermore, site plan approval in 2012 exceeded required points and included berming that screened warehouses from view.

Plan Commission Recommended Motions

Motion to approve site plan application 2024-03 for improvements and building expansion on parcel 6-27-866, addressed at 340 N Union Street, finding that the proposed changes meet the required standards and criteria set forth in Section 130-131 of the City of Evansville Zoning Ordinance, and are in the public interest, subject to the following conditions:

- 1. Applicant complies with any and all other local, state, or federal regulations pertaining to the site.***
- 2. Any major deviations from approved plans will require a resubmittal of application and possibly fees or enforcement action.***
- 3. Addition must connect to City sewer and water services.***
- 4. Applicant records the site plan with the Rock County Register of Deeds.***

Chapter 130 Review Criteria and Standards

The following section compares the site plan with the basic provisions of the base zoning district and other considerations of how the site functions, both internally and within its environs.

Site Plan Criteria Evaluation

Section 130-131 of the Municipal Code, includes factors for evaluating site plans.

Criteria	Staff Comment
1. Site Design and Physical Characteristics	<ul style="list-style-type: none"> • The proposed addition matches the existing warehouse in color and design. • The addition is shorter than the remaining warehouse but is proportional in its scale.
2. Site location relative to public road network	<ul style="list-style-type: none"> • Site has frontage along Union Street/US Highway 14. • No additional driveways/access points proposed.
3. Land Use	<ul style="list-style-type: none"> • The site predates current zoning standards for Agricultural Service Uses and operates as a permitted use. No proposed change to the land use. • Comprehensive Plan Future Land Use Category: Walkable Business.
4. Traffic Generation	<ul style="list-style-type: none"> • Not expected to increase significantly due to the addition of office spaces, as these workers already work elsewhere on site.
5. Community Effects	<ul style="list-style-type: none"> • A long-standing, established business is enabled to expand and improve its operations. • Paving gravel parking areas will reduce dust blowing off site during dry conditions.
6. Other Relevant Factors	<ul style="list-style-type: none"> • The site will need to comply with the performance standards contained within Article III of the zoning code.



Imagery ©2024 Airbus, Map data ©2024 Google 20 ft

Measure distance
Total area: 41,047.34 ft² (3,813.42 m²)
Total distance: 1,058.32 ft (322.58 m)

Outlined in Red is New Asphalt area.

GENERAL NOTES (WHERE APPLICABLE)

1. REVIEW OF CONTRACT DOCUMENTS AND FIELD CONDITIONS: THE CONTRACTOR SHALL VERIFY THAT EACH OTHER AND WITH AS-BUILT CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE CONTRACT DOCUMENTS AND FIELD CONDITIONS.
2. MATERIALS: ALL MATERIALS SHALL BE NEW, UNLESS AND WHERE THE HIGHEST QUALITY IS EVER. RESPECT UNLESS OTHERWISE NOTED MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. EXISTING CONDITIONS: THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS OF THE PROJECT.
4. PROTECTION: THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
5. SAFETY: THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AT ALL TIMES.

1. EXISTING WORK: THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
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CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA										MIN. 2019 ENERGY CONSERVATION REQUIREMENTS															
GROUND SNOW LOAD	ROOF LIVE LOAD	WIND SPEED	SES DESIGN CAT.	SUBJECT TO DRAINAGE		PERMITE		FINISH	DECAY	FINISH DESIGN TEMP	ICE SHLD UNDER LAYMENT	FLOOD HAZRD	CLIMATE ZONE	AIR PRZ INDEX	MEAN ANNUAL TEMP	HTS DEG DAYS	CLIMATE ZONE	ATTIC	WALLS	HTDI UNFITD SLABS	SWING DOORS	OPaque DOORS	ENTR DOORS	FENESTRATION FREQ/ OPRN	SHGC
30PSF	20PSF	115MPH	A/B	11.2%g	6.0%g	BEVERE	4"	MOD/HV	SLT/MOD	4	REG/M	SEE CITY MAP	6A	NA	54 / 34	640	6A	R-41	R-20 + R-3.5 GI	R15	U=0.31	R4.75	U=0.11	0.36	0.55 N



A NEW OFFICE ADDITION FOR:

The DeLong Co.

340 Union St. Evansville IN 53536

JKAI
ARCHITECTURAL SERVICES, LLC
1639 West Tenth, Evansville, IN 47710
605.911.4954/FM • jankai@aigmail.com

WISCONSIN ADMINISTRATIVE CODE..... PLAN REVIEW INFORMATION 2010 ADA CODE

NAME OF PROJECT:	OFFICE ADDITION - DELONG CO. INC.
STREET ADDRESS:	340 UNION ST., EVANSVILLE, IN 53536
1. Type of Project	Existing
2. Height/Story (Chapter 5)	51
3. Use of Construction	See Item 4 ABOVE
4. Area Modification - Open Perimeter (503.2)	NOT USED
5. Height Modification - automatic fire suppression (503.2)	NA
6. Area Modification - automatic fire suppression (503.3)	NA
7. Fire Suppression (Chapter 5)	NA
8. and 1-2	NA
9. Laundry Room >100sf	NA
10. Storage Room >100sf	NA
11. and 1-2	NA
12. and 1-2	NA
13. and 1-2	NA
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95. and 1-2	NA
96. and 1-2	NA
97. and 1-2	NA
98. and 1-2	NA
99. and 1-2	NA
100. and 1-2	NA

DESCRIPTION	REQUIREMENT	COMPLIANCE
Enclined Parking structure under occupancies A, B, or M (503.2)	NA	NA
Enclined Parking structure under open parking structure (503.2)	NA	NA
Open Parking structure under occupancies A, B, M and M (503.2)	NA	NA
1. Table 501 - Fire Ratings of Structural Frame	NA	NA
2. Table 502 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
3. Table 503 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
4. Table 504 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
5. Table 505 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
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98. Table 598 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
99. Table 599 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA
100. Table 600 - Fire Ratings of Exterior Walls based upon separation distance	NA	NA



1. ALL OCCUPANCIES SHALL PROVIDE A MINIMUM OF PORTABLE (2A) (10) FIRE EXTINGUISHERS IN A VISIBLE LOCATION AT NOT MORE THAN 75 MAX. TRAVEL DISTANCE TO EXTINGUISHER. FINAL LOCATIONS SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT.

2. THE BUILDING ADDRESS SHALL APPEAR ON THE FACE OF THE BUILDING. NUMBERS SHALL BE A MIN. OF 3" HIGH.

3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS OR INSUFFICIENT INFORMATION OR SHALL SUBMIT DETAILS TO THE ARCHITECT BEFORE CONSTRUCTION. (WHERE CONTRADICTIONS OCCUR (FOR BIDDING PURPOSES) THE ITEMS REGARDING THE GREATER LABOR OR MATERIALS SHALL GOVERN.)

4. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR COMPLYING WITH FEDERAL, STATE, COUNTY AND MUNICIPAL ORDINANCES (WEATHER SHOWN ON THE PLANS OR NOT).

5. THE DESIGN AND PLANNING IDEAS CONTAINED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF THE DESIGNER. THESE DRAWINGS, OR ANY PORTION THEREOF ARE NOT TO BE USED OR COPIED BY ANY OTHER PERSON, ASSOCIATION, CORPORATION OR COMPANY WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THIS ACTION CONSTITUTES PLAGIARISM AND IS PROHIBITED BY LAW. COPYRIGHT NOTICE 2020.

SPECIAL RESPONSE COEFFICIENT AT 1 SECOND PERIOD (1818.1.3)	NA	5 psi
SEISMIC USE GROUP AND OCCUPANCY IMPORTANCE FACTOR (1818.2)	NA	NA
SEISMIC DESIGN CATEGORY (1818.31.2)	NA	NA
SEISMIC FORCE-RESISTING SYSTEM	NA	NA
Design base shear (1818.1.1, 1818.1.1.1, 1818.1.1.1.1)	NA	NA
Seismic analysis procedure (1818.6)	NA	NA
Analytical, Mechanical & Electrical Component Seismic Design applicable	NA	NA
Special loads	NA	NA
Wind Design	NA	NA
Presumed soil bearing pressure of 1500 PSF may be permitted if the following conditions are met:	NA	NA
1. Single story building without a basement	YES	NA
2. Max. height (ing. grade to mean height of highest roof) if no snow	YES	NA
3. 20' max. height (ing. grade to mean height of highest roof) if any snow	YES	NA
4. Building seismic use group is not E or F as listed in 1818.2	NA	NA
5. Footings bear on virgin soil that is not sandstone/siltstone, but not limited to, joints, highly variable shear, weakly cemented, dense or organic and expansive materials.	NA	NA
6. Structures in accordance with 1704.1.1, being design professional or soils engineer who is contact site inspection submitted at time of permit application. Copy of site inspection is submitted to local official prior to foundation inspection listed in 1703.1.	NA	NA
18. List of specified special inspections (1703.1.2 & 1704.1.1 with local amendment)	NA	NA

Manual fire alarm	NA	NA
Emergency alarm	NA	NA
Vertical exits and pressurization	NA	NA
Exit access corridors and other exits	NA	NA
Normal/Enclosed Spaces	NA	NA
11. Fire Alarm and detection systems (705)	NA	NA
12. Occupant Evacuation (1009.2.1)	NA	NA
13. Egress Paths (See Signage - Other components - Total @ level of exit discharge)	NA	NA
14. Number of exits	NA	NA
15. Exit Travel Distance (1004.2.4)	NA	NA
16. Exit Signage (1004.2.4)	NA	NA
17. Exit Signage (1004.2.4)	NA	NA
18. Exit Signage (1004.2.4)	NA	NA
19. Exit Signage (1004.2.4)	NA	NA
20. Exit Signage (1004.2.4)	NA	NA
21. Exit Signage (1004.2.4)	NA	NA
22. Exit Signage (1004.2.4)	NA	NA
23. Exit Signage (1004.2.4)	NA	NA
24. Exit Signage (1004.2.4)	NA	NA
25. Exit Signage (1004.2.4)	NA	NA
26. Exit Signage (1004.2.4)	NA	NA
27. Exit Signage (1004.2.4)	NA	NA
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43. Exit Signage (1004.2.4)	NA	NA
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45. Exit Signage (1004.2.4)	NA	NA
46. Exit Signage (1004.2.4)	NA	NA
47. Exit Signage (1004.2.4)	NA	NA
48. Exit Signage (1004.2.4)		

CONCRETE NOTES

CONCRETE (WHERE APPLICABLE)

- A. ALL FULL CONCRETE FOUNDATION WALLS SHALL BE 8" THICK X 3'10" HIGH WITH (2) #4'S CONTINUOUS TOP AND BOTTOM OF WALL.
- B. ALL FOUNDATION FOOTINGS SHALL BE A MINIMUM OF 10" THICK X 20" WIDE WITH (3) #4'S CONTINUOUS IN FOOTING. FOR SLABS OVER 2 STORES USE 10" X 30" W/ (3) #4'S MIN.
- C. PROVIDE #4'S 12" O/C VERTICALLY AT ALL JOINING CONCRETE WALLS AND AT ALL COLD JOINTS.
- D. PROVIDE 12" Ø ANCHOR BOLTS 60° O/C AROUND ENTIRE PERIMETER OF FOUNDATION AND ENDS OF ALL PLATES FOR ANCHORAGE OF BILL PLATES. EMBED 12" INTO FOUNDATION WALL.
- E. ALL BILL PLATES TO BE TREATED AND SET ON FOUNDATION WITH BILL SEALER.
- F. ALL CONCRETE TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS. (MIN 5 BAG MIX AIR ENT. 3:1)
- G. FOOTINGS ASSUMED TO REST ON UNDISTURBED SOIL WITH A 1500 PSI DESIGN SOIL PRESSURE (1500 PSF SAFE BEARING PRESSURE).
- H. COLD AND HOT WEATHER PROTECTION SHALL BE AS PRESCRIBED BY ACI 308 AND ACI 309 RESPECTIVELY.

1. READY MIXED CONCRETE SHALL BE AS FOLLOWS. ALL CONCRETE WORK IN ACCORDANCE WITH ACI LATEST CODES AND APPLICABLE SPECIFICATIONS.

STRUCTURAL CONCRETE (FOOTINGS, WALLS, PIERS, ETC.)

- STRENGTH - MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
- MIX - MINIMUM OF 5 BAG MIX OR 4 1/2 BAG WITH THE ADDITION OF ASTM 484 WATER-REDUCING ADMIXTURE.
- SLUMP - MAXIMUM OF 9" FOR STANDARD MIXES OR 6" WITH THE ADDITION OF ASTM 484 WATER-REDUCING ADMIXTURE.
- WATER CEMENT RATIO - SHALL NOT EXCEED 0.50 BY WEIGHT.
- AIR ENTRAINMENT - 4% MINIMUM TO 7% MAXIMUM.
- NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

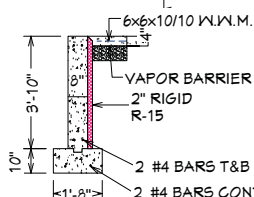
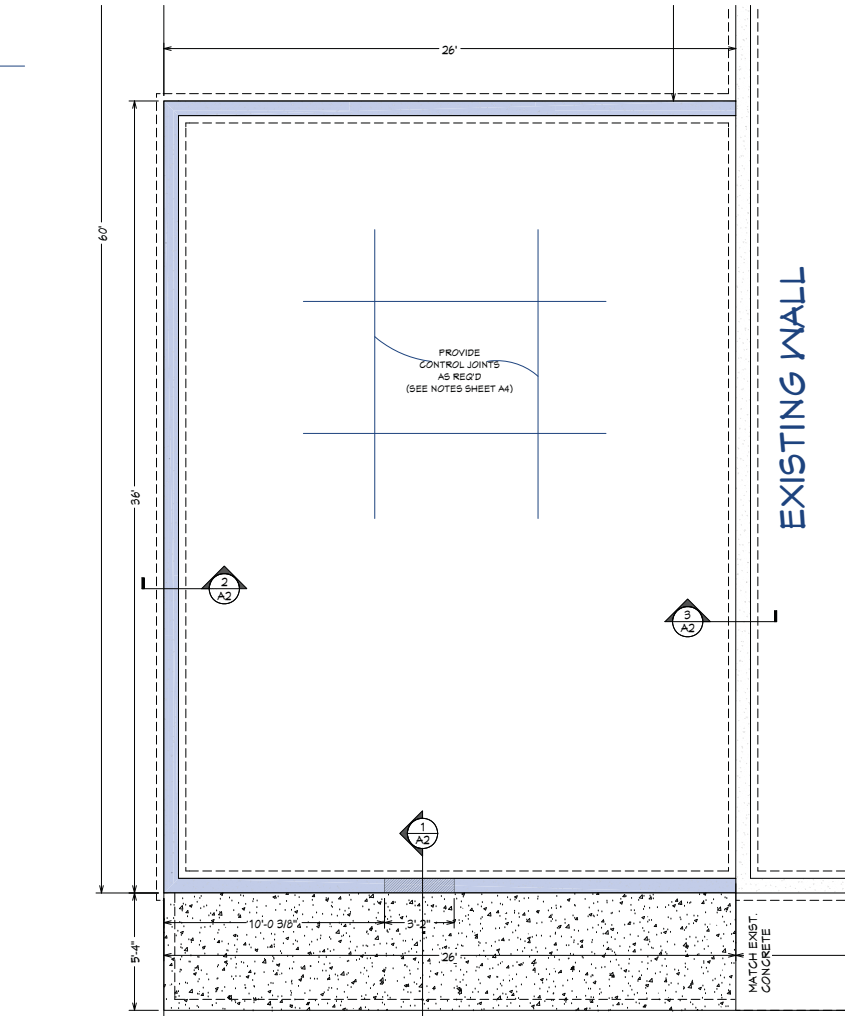
INTERIOR SLABS CONCRETE

- STRENGTH - MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
- MIX - MINIMUM OF 8 BAG OR 5 1/2 BAG WITH ADDITION OF ASTM 484 WATER-REDUCING ADMIXTURE.
- SLUMP - MAXIMUM OF 9" FOR STANDARD MIXES OR 6" WITH ADDITION OF ASTM 484 WATER-REDUCING ADMIXTURE.
- WATER CEMENT RATIO - SHALL NOT EXCEED 0.50 BY WEIGHT.
- AIR ENTRAINMENT - 0% MINIMUM TO 3% MAXIMUM.
- NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.
- FLOOR FINISHES AND LEVELNESS - FLOORS UNDER TOP, INSUR, TILE AND BUILT UP TO 2" OF 1/2" FLOOR UNDER VOT, SEALERS, PAINT AND CARPET = (7) OF 20, (7) OF 17.
- MIN. LOGICAL VALUE PER 1/2" IS 1.0.

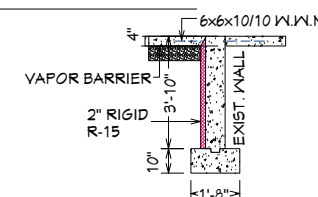
EXTERIOR SLABS CONCRETE

- STRENGTH - 4,000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
- MIX - MINIMUM 8 BAG.
- SLUMP - MAXIMUM 4".
- WATER CEMENT RATIO - SHALL NOT EXCEED 0.45 BY WEIGHT.
- AIR ENTRAINMENT - 5% MINIMUM TO 8% MAXIMUM.
- COARSE AGGREGATE - SHALL BE STATE OF ILLINOIS "SUPERSTRUCTURE QUALITY" GRADE AND SHALL CONTAIN NO MORE THAN 2% TOTAL BY WEIGHT OF DELETERIOUS MATERIALS WHOSE DISINTEGRATION IS ACCOMPANIED BY AN INCREASE IN VOLUME WHICH MAY CAUSE SPALLING IN THE CONCRETE.
- FINE AGGREGATE - CLEAN NATURAL SAND.
- GENERAL NOTES - NOTE: ON ALL EXTERIOR FLATWORK POURED AFTER SEPT. 15 THE MINIMUM CEMENT CONTENT SHALL BE INCREASED TO 6-1/2 BAG AND CALCIUM CHLORIDE SHALL BE ADDED TO A RATE OF 1/2% TO 2% BY WEIGHT. CALCIUM CHLORIDE SHALL BE ADDED IN SOLUTION AND MIXED THOROUGHLY. DO NOT USE WATER REDUCING AGENTS.
- NOTE: CONFIRMATION OF THIS MIX MUST BE IDENTIFIED ON EACH "REDMIX TICKET" THAT ACCOMPANIES EACH DELIVERY.

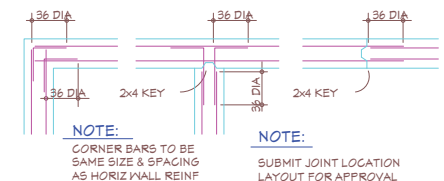
2. INTERIOR CONCRETE SLABS SHALL BE OF THICKNESS AS SHOWN ON THE DRAWINGS AND REINFORCED AS SHOWN ON THE DRAWINGS AND SHALL RECEIVE ONE COAT OF A HARDENER, DAYTON-SUPERIOR (15) OR SONNEBORN'S LAPIDOLITH OR A GUNSEALER, DAYTON-SUPERIOR (20) OR SONNEBORN'S KURE-N-SEAL 25 FOR GURE ONLY USE DAYTON-SUPERIOR'S (11) OR M.R. MEADOWS 1100-CLEAR FOR APPLIED FLOORS (VCT, CERAMIC, ETC.) SHEET OR NET GURE ONLY.
3. INTERIOR CONCRETE SLABS SHALL HAVE A MONOLITHIC STEEL-TROUBLED FINISH.
4. CURE AND PROTECT ALL CAST IN PLACE CONCRETE PER ACI CODE REQUIREMENTS.
5. FOUNDATION WALLS SHALL BE AS PER ARCHITECTURAL PLANS. ALL COLD JOINTS SHALL BE DOVELETTED TOGETHER WITH #4 DOWELS, 12" O/C VERTICALLY. ALL REINFORCING SHALL BE CONTINUOUS FROM FOUR TO FOUR.
6. ALL REINFORCING BARS TO BE BILLET STEEL BARS ASTM #15, GRADE 40.
7. CONSTRUCTION AND/OR CONTROL JOINTS SHALL BE PROVIDED AS REQUIRED. NOT MORE THAN 225 SQUARE FOOT AREAS. WHERE JOINT FILLER IS CALLED FOR USE: SONOMERG 1, SONOLASTIC, TREMCO DYMERIC, TREMCO LASTOMERG OR EQUAL.
8. A 1/2" EXPANSION JOINT SHALL BE PROVIDED AROUND THE ENTIRE PERIMETER OF THE BUILDING FLOOR AND 1/2" AROUND EACH PIER AND CENTER COLUMNS.
9. PROVIDE 6" COMPACTED GRANULAR FILL UNDER CONCRETE SLABS ON GRADE AS A MINIMUM REQUIREMENT WHEN FILL IS NOT SPECIFIED IN THE DRAWINGS. COVER IN 6 MIL POLY VAPOR BARRIER.
10. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE REQUIRED CONCRETE PADS FOR ELECTRICAL AND HVAC EQUIPMENT.
11. ALL CONCRETE HAS BEEN DESIGNED BASED ON 1500 PSF BEARING CAPACITY.
12. WHERE CONTRADICTIONS ON THE PLANS AND/OR SPECIFICATIONS EXIST, THE ITEM REQUIRING THE GREATER MATERIAL AND/OR LABOR SHALL TAKE PRECEDENT.
13. AIR-ENTRAINING ADMIXTURE SHALL BE USED FOR ALL CONCRETE EXPOSED TO THE WEATHER. NO OTHER ADMIXTURES SHALL BE ADDED TO THE CONCRETE.
14. ALL MECHANICAL & ELECTRICAL PLANS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL AND A COPY PROVIDED TO KA ARCHITECTURAL SERVICES.
15. ALL CONCRETE TOPPING SLABS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH AT 28 DAYS.
16. ELEVATION TOP OF FOOTINGS IS SHOWN ON THE PLANS. VERIFY ALL BEARING MATERIAL WITH THE ARCHITECT. ALL FOOTINGS SHALL BEAR ON SOLID UNDISTURBED SOIL. NO CONCRETE SHALL BE POURED IN EXCAVATIONS CONTAINING WATER.
17. ALL FILL AND BACKFILL FOR INTERIOR SLABS ON GRADE SHALL BE COMPACTED TO 95% OF ASTM 1595.



DETAIL 2
SCALE: 1/2" = 1'-0"



DETAIL 3
SCALE: 1/2" = 1'-0"



NOTE:
CORNER BARS TO BE SAME SIZE & SPACING AS HORIZ WALL REINF & TOP & BTH BARAS

NOTE:
SUBMIT JOINT LOCATION LAYOUT FOR APPROVAL

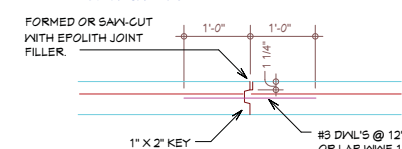
WALL CORNER **WALL INTERSECTION** **WALL CONSTR-JOINT**

PLAN DETAIL - WALL REINFORCING

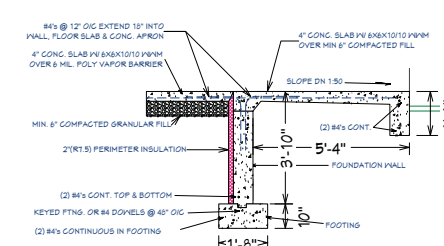
SCALE: 1/2" = 1'-0"



SLAB CONTROL JOINT
SCALE: 3/4" = 1'-0"



SLAB CONSTRUCTION JOINT
SCALE: 3/4" = 1'-0"



CONC. STOOP SECTION
DETAIL 1

COMPLIANCE STATEMENT	
I, THE UNDERSIGNED, CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF ILLINOIS AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.	
<i>David L. Jenkins</i> DAVID L. JENKINS ARCHITECT	
DATE: OCTOBER 3, 2020	
David L. Jenkins & Assocs., P.C.	
2020 SLENNY RD., ROCKFORD, ILLINOIS PHONE (815) 391-0111 FAX (815) 391-0118	
FILE NAME: DELONG CO. INC.	PROJECT NO.: 024-23
DATE: 8/15/2024	PROJECT NAME: 340 UNION ST. EVANSVILLE, WI 53536
REVISIONS:	
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LICENSE NUMBER:
1234567890

OFFICE PLANS FOR:
The DeLong Co.
340 Union St.
Evansville, Wisconsin 53536

PAGE TITLE:
FRONT ROOF CHANGE

DRAWN BY:
JMH

DATE:
8/15/2024

SCALE:
3/8" = 1'0"

SHEET #:
A2

GENERAL NOTES - WOOD CONSTRUCTION

- CONCRETE** (WHERE APPLICABLE)
1. ALL FULL CONCRETE FOUNDATION WALLS SHALL BE 8" THICK X 3'10" HIGH WITH (2) #4'S CONTINUOUS TOP AND BOTTOM OF WALL.
 2. ALL FOUNDATION FOOTINGS SHALL BE A MINIMUM OF 10" THICK X 20" WIDE WITH (2) #4'S CONTINUOUS IN FOOTING. FOR BLDGS OVER 2 STORIES USE 10" X 30" W (3) #4'S MIN.
 3. PROVIDE #4'S 12" O/C VERTICALLY AT ALL JOINING CONCRETE WALLS AND AT ALL COLD JOINTS.
 4. ALL FOUNDATION WALLS SHALL BE A MINIMUM OF 8" THICK X 3'10" HIGH.
 5. PROVIDE 12" Ø ANCHOR BOLTS 40" Ø AROUND ENTIRE PERIMETER OF FOUNDATION AND ENDS OF ALL PLATES FOR ANCHORAGE OF SILL PLATES. EMBED 12" INTO FOUNDATION WALL.
 6. ALL SILL PLATES TO BE TREATED AND SET ON FOUNDATION WITH SILL SEALER.
 7. ALL CONCRETE TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS (MIN 5 BAG MIX) AIR ENT. 5-1
 8. FOOTINGS ASSUMED TO REST ON UNDISTURBED SOIL WITH A 2400 PSI DESIGN SOIL PRESSURE (1500 PSF SAFE BEARING PRESSURE)
 9. COLD AND HOT WEATHER PROTECTION SHALL BE AS PRESCRIBED BY ACI 306 AND ACI 305 RESPECTIVELY.

- LUMBER**
1. ALL SAWN LUMBER SHALL BE DOUGLAS FIR LARCH LUMBER INSTALLED AS REQUIRED ON NAILING SCHEDULE, ON PLANS AND DETAILS, AND IN SPECIFICATIONS. GRADING SHALL BE IN ACCORDANCE WITH CURRENT WUPFA STANDARD GRADING RULES AS FOLLOWS.
 - A. GRADE NO. 1 POST AND BEAMS
 - B. GRADE NO. 2 FLOOR, CEILING JOISTS AND RAFTERS (1450 PSI Fb MIN.)
 - C. GRADE NO. 3 SILL PLATES AND BLOCKING
 - D. STUDS 1 STORY USE STUD GRADE SPF - MULTI-STORY USE STUD GRADE DOUG FIR LARCH #2
 - E. 3/4" T & G - SUB GIRDERS
 - F. 1/2" PART. BD FLOOR UNDERLAYMENT OR 3/4" GYPCRETE
 - G. 5/8" CDX ROOF SHEATHING
 - H. 1/2" C-D (32/16) WALL SHEATHING
 - I. GLUE LAM BEAMS (2400 PSI Fb MIN.)
 - J. MICRO LAM, LVL (2300 PSI Fb MIN.)
 - NOTE: SOLID INTERIOR BEAMS VISUALLY EXPOSED TO BE "CLEAR" GRADE, FREE OF HEART CENTER.

2. ALL EXTERIOR AND INTERIOR BEARING WALL OPENINGS SHALL HAVE 4" X 12" NO. 1 D.F. HEADERS UNLESS SHOWN OTHERWISE ON THE PLANS. IN MULTI-STORY BUILDINGS ALIGN ROOF AND FLOOR TRUSSES WITH STUDS - MAX OFF CENTER ALIGNMENT IS 1/2"
3. PROVIDE WOOD BRIDGING AT A MAXIMUM OF 80" INTERVALS AND A MINIMUM OF CENTER OF ALL SPANS. BRIDGING TO BE CONTINUOUS.
4. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE-TREATED WITH A WATER-BORNE PRESERVATIVE.
5. ROOF TRUSSES ARE TO BE DESIGNED THROUGH THE TRUSS SUPPLIER BY A QUALIFIED REGISTERED WISCONSIN ENGINEER AT NO ADDITIONAL EXPENSE TO THE OWNER. TRUSS SHOP DRAWINGS TO BE SUBMITTED TO THE BUILDING DEPT. AND THE ARCHITECT. USE (1) SIMPSON H2A + (2) TOP NAILS @ EACH BEARING END OF TRUSS.
6. ALL WOOD FRAMING TO MEET ALL LOCAL, STATE AND FEDERAL CODES THAT GOVERN THE WORK, INCLUDING NFPA NDS-11 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - WITH 1991 SUPPLEMENT. DESIGN VALUES FOR WOOD CONSTRUCTION.

7. GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS, EACH AS HIS TRADE APPLIES, SHALL BE RESPONSIBLE FOR INTERPRETATIONS, CLARIFICATIONS, RECONCILIATION OF CONTRADICTIONS, OR INCOMPLETE INFORMATION OR SHALL SUBMIT DETAILS TO THE ARCHITECT BEFORE CONSTRUCTION. AFTER SAID FINAL INTERPRETATIONS WILL BE MADE BY THE ARCHITECT AND FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. SHEAR WALLS - WALLS TO HAVE SIMPSON H2A CONNECTOR W/ DBL STUD @ EACH END. ANCHOR CONNECTOR TO FOUNDATION WITH HILTI S10® QUICK BOLT 1". SHEAR WALL NAILING SHALL BE PER IBC TABLE 2306.4.1 / 2306.4.5
9. MULTI STORY BLDGS REQ. SIMPSON C510 STRAPS WITH 10D NAILS @ STUD TO RIM BOARD TO STUD
10. STAIRS - NAIL OUTSIDE STRINGER TO STUDS W/ (3) 16D NAILS @ EACH STUD
11. ROOF TRUSS TIE DOWNS TO BE SIMPSON H3 FOR UP TO 32R UPLIFT. CHECK TRUSS DRAWINGS, WHERE UPLIFT EXCEEDS 32R CHECK WITH ARCHITECT FOR ALTERNATE TIE DOWN.

- NAILING SCHEDULE** (ALSO SEE IBC TABLE 2304.4.1)
1. JOIST TO SILL OR GIRDER, TOP NAIL 3-5 d
 2. BRIDGING TO JOIST, TOP NAIL EA. END 2-5 d
 3. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL 2-16 d
 4. SOLE PLATE TO JOIST OR BEADING, FACE NAIL 16-4 @ 16" o.c.
 5. TOP PLATE TO STUD, END NAIL 2-16 d
 6. STUD TO SOLE PLATE 4-8 d top nail or 2-16 d end nail
 7. DOUBLE STUDS, FACE NAIL 16-4 @ 16" o.c.
 8. DOUBLED TOP PLATES, FACE NAIL 16-4 @ 16" o.c.
 9. TOP PLATES, LAP & INTERSECTIONS, FACE NAIL 3-5 d
 10. CONTINUOUS HEADER 2 PIECES 2-16 d
 11. CEILING JOIST TO PLATE, TOP NAIL 3-5 d
 12. CEILING JOIST LAPS OVER PARTITIONS, FACE NAIL 3-16 d
 13. CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL 3-16 d
 14. RAFTERS TO PLATE, TOP NAIL 3-5 d
 15. BUILT UP CORNER STUDS 16-4 @ 16" o.c.
 16. FPLYWOOD SUB-FLOOR 16-4 @ 16" o.c.
 17. FPLYWOOD ROOF SHEATHING 16-4 @ 16" o.c.
 18. FPLYWOOD ROOF SHEATHING 16-4 @ 16" o.c.
 19. 5/8" SHT RK TO STUDS 16-4 @ 16" o.c.

- TEMP. & PERM. BRACING OF METAL PLATE CONNECTED WOOD TRUSSES**
1. TEMPORARY BRACING, HANDING, INSTALLING AND REM. BRACING OF METAL PLATE CONNECTED WOOD TRUSSES SHALL BE ACCORDING TO ECR-15. A HANDBOOK PREPARED BY THE TRUSS PLATE INDUSTRY & ASSN. WHERE EVER POSSIBLE, TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE TRUSS SYSTEM IS FULLY OPERATIONAL. TEMPORARY BRACING SHALL BE DESIGNED BY THE COMPONENT ENGINEER AND INSTALLED BY THE INSTALLATION CONTRACTOR. THE TRUSS BRACING SYSTEM SHALL INCLUDE BRACING AND INTERMEDIATE BRACING PERMANENT BRACING, DIAGONAL BRACING, WEB MEMBER LATERAL RESTRAINT, SHEATHING THICKNESS AND BLOCKING AS REQUIRED TO MAKE THE TRUSS COMPONENTS STABLE AND RESPONSIBLE FOR THE TRUSS SYSTEM PERFORMANCE AND BE RESPONSIBLE FOR THE TRUSS SYSTEM PERFORMANCE AND BE RESPONSIBLE FOR THE TRUSS SYSTEM PERFORMANCE.
 2. THIS ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF TEMPORARY OR PERMANENT BRACING. NOR THE ROOF SYSTEM PERFORMANCE. SYSTEM DESIGNER SHALL MAKE THE FINAL JUDGMENT OF ANY SPECIAL STRUCTURAL REQUIREMENTS TO BE MADE TO THE SYSTEM DESIGN.

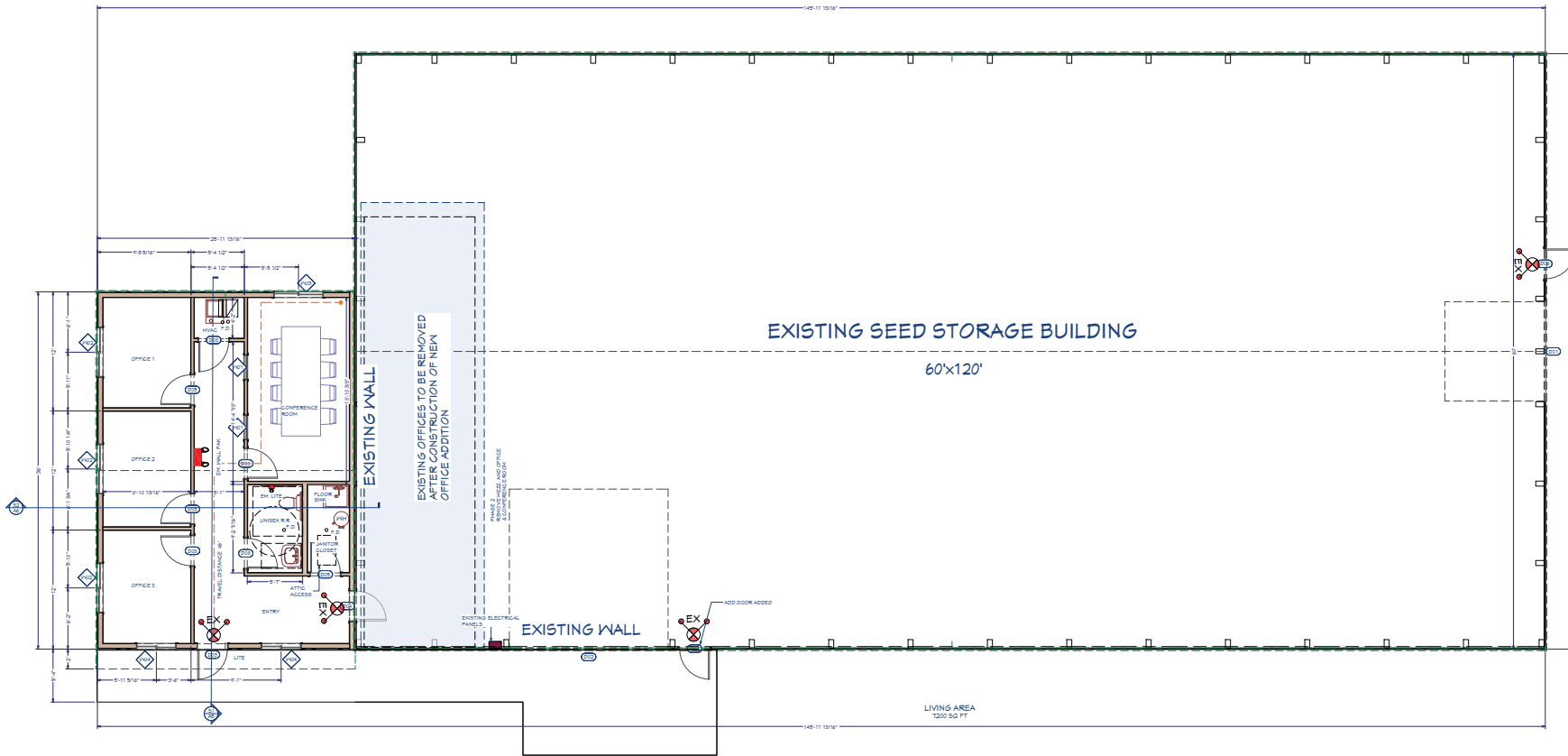
A COPY OF ECR-12 CAN BE OBTAINED AT:
 SBCA
 1500 ENTERPRISE LANE
 MADISON, WI - 53714
 (608)274-4844 X 1000 W/BC INDUSTRY.COM

NOTE 1 GREAT CARE HAS BEEN TAKEN IN PREPARING THESE PLANS. HOWEVER, AS THE LAST LAYOUT PERSON BEFORE CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND COORDINATION OF HVAC, ELECTRICAL AND PLUMBING

Number	Label	Qty	Floor	Size	Finish	Height	Manufacturer	Comments	Check	U-Factor	Temp
D001	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P02		0.3	0.3	EXISTING DOOR
D002	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P03		0.3	0.3	EXISTING DOOR
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D011	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P12		0.3	0.3	EXISTING DOOR
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D064	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P65		0.3	0.3	EXISTING DOOR
D065	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P66		0.3	0.3	EXISTING DOOR
D066	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P67		0.3	0.3	EXISTING DOOR
D067	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P68		0.3	0.3	EXISTING DOOR
D068	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P69		0.3	0.3	EXISTING DOOR
D069	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P70		0.3	0.3	EXISTING DOOR
D070	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P71		0.3	0.3	EXISTING DOOR
D071	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P72		0.3	0.3	EXISTING DOOR
D072	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P73		0.3	0.3	EXISTING DOOR
D073	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P74		0.3	0.3	EXISTING DOOR
D074	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P75		0.3	0.3	EXISTING DOOR
D075	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P76		0.3	0.3	EXISTING DOOR
D076	1501101	1	1501101	120"	120"	120"	Garage-Garage Door P77		0.3	0.3	EXISTING DOOR
D0											



KAI
ARCHITECTURAL SERVICES, LLC
1329 West Towne Trce, Evansville, WI 53536
608-931-4928 (F) • jenkinsd@kai.com



OVERALL BUILDING PLAN
3/16"=1'-0"

LICENSE NUMBER:
1234567890

OFFICE PLANS FOR:
The DeLong Co.
340 Union St.
Evansville, Wisconsin 53536
CELL PHONE: 608-290-4536

PAGE TITLE:
OVERALL FLOOR PLAN

DRAWN BY:
JMH

DATE:
8/15/2024

SCALE:
3/16" = 1'0"

SHEET #:
A4

COMPLIANCE STATEMENT
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF WISCONSIN AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

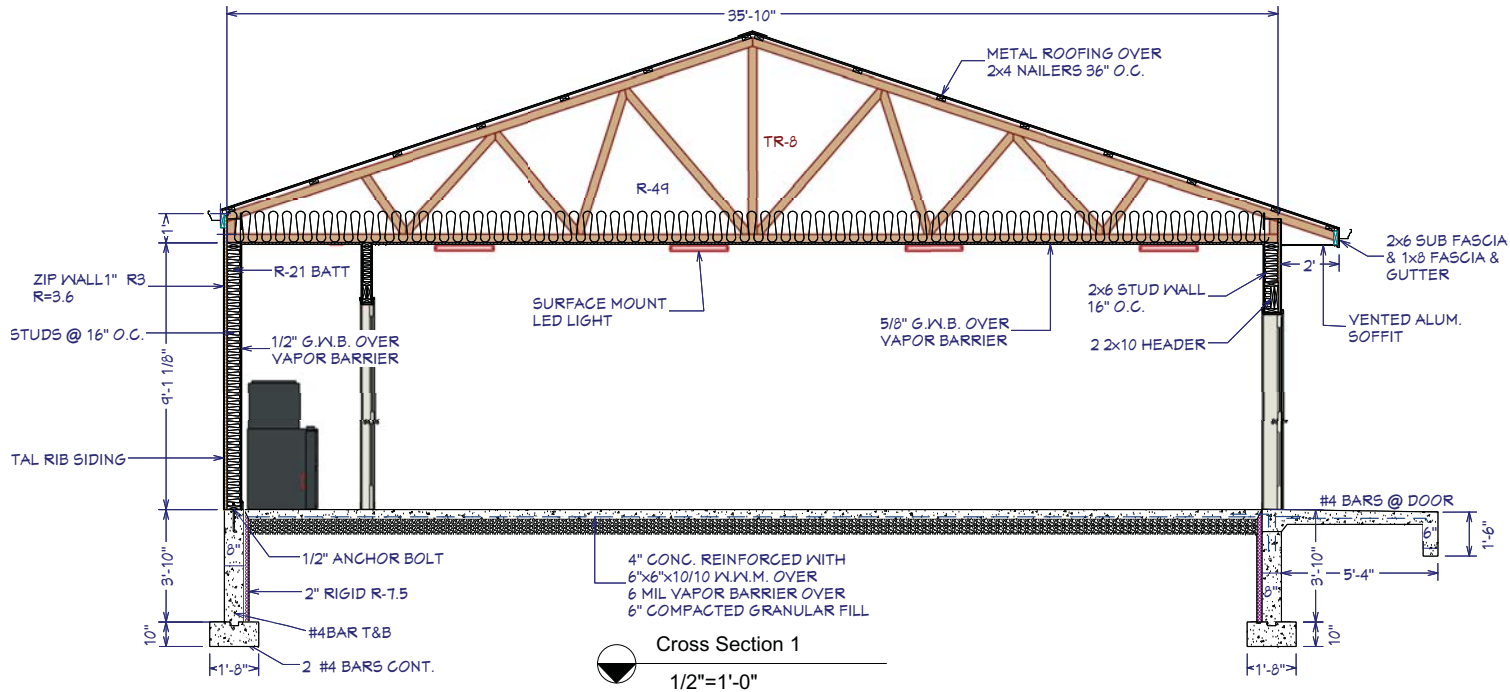
DATE: OCTOBER 3, 2023

David L. Jenkins
DAVID L. JENKINS ARCHITECT

David L. Jenkins & Assoc., P.C.
ARCHITECTS & PLANNERS
2023 SLENNY RD., ROCKFORD, ILLINOIS
PHONE (815) 391-7111 FAX (815) 391-4198

FILE NAME:	CONTRACTOR:	PROJECT NO.:
DATE:	DELONG CO. INC.	024-23
REVISED:	340 UNION ST.	
	EVANSVILLE, WI 53536	

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LICENSE NUMBER:
 1234567890

OFFICE PLANS FOR:
 The DeLong Co.
 340 Union St.
 Evansville, Wisconsin 53536
 CELL PHONE: 608-290-4536

PAGE TITLE:
SECTION 1

DRAWN BY:
 JMH
 DATE:
 8/15/2024
 SCALE:
 1/2" = 1'0"
 SHEET #:
A5

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 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ARCHITECT UNDER THE BOARD OF ARCHITECTS AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

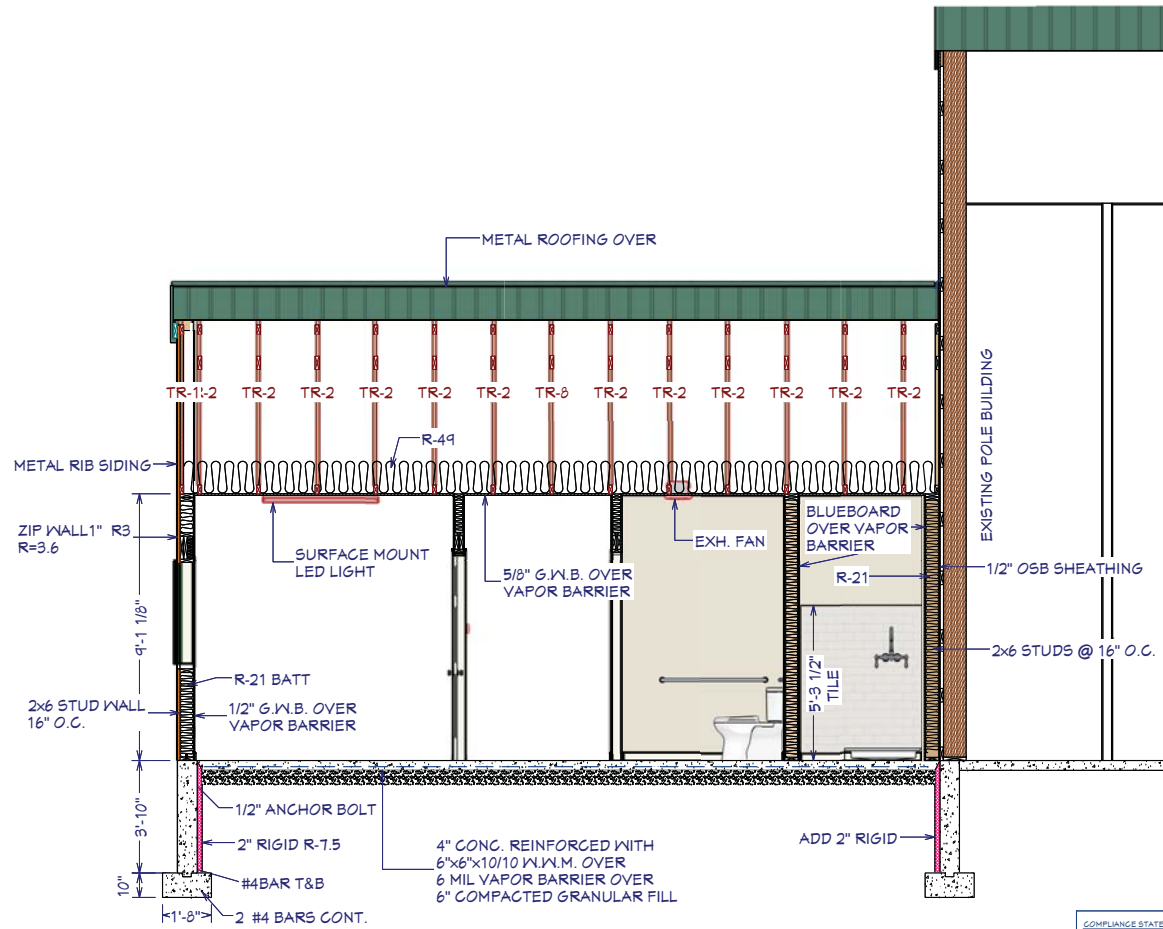
DATE: OCTOBER 3, 2024

David L. Jenkins
 DAVID L. JENKINS ARCHITECT

David L. Jenkins & Assocs., P.C.
 ARCHITECTS & INTERIORS
 2022 SLENNY RD., ROCKFORD, ILLINOIS
 PHONE (815) 391-0111 FAX (815) 391-0118

FILE NAME: CONTRACTOR: **DELONG CO. INC.** PROJECT NO: 024-25
 DATE: PROJECT NAME: **340 UNION ST.**
 REVISED: **EVANSVILLE, WI 53536**
 CHECKED:

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← Cross Section 2
 1/2" = 1'-0"

LICENSE NUMBER:
 1234567890

OFFICE PLANS FOR:
 The DeLong Co.
 340 Union St.
 Evansville, Wisconsin 53536

PAGE TITLE:
 SECTION 2

DRAWN BY:
 JMH

DATE:
 8/15/2024

SCALE:
 1/2" = 1'0"

SHEET #:
 A6

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DATE: OCTOBER 3, 2024

David L. Jenkins
 DAVID L. JENKINS ARCHITECT

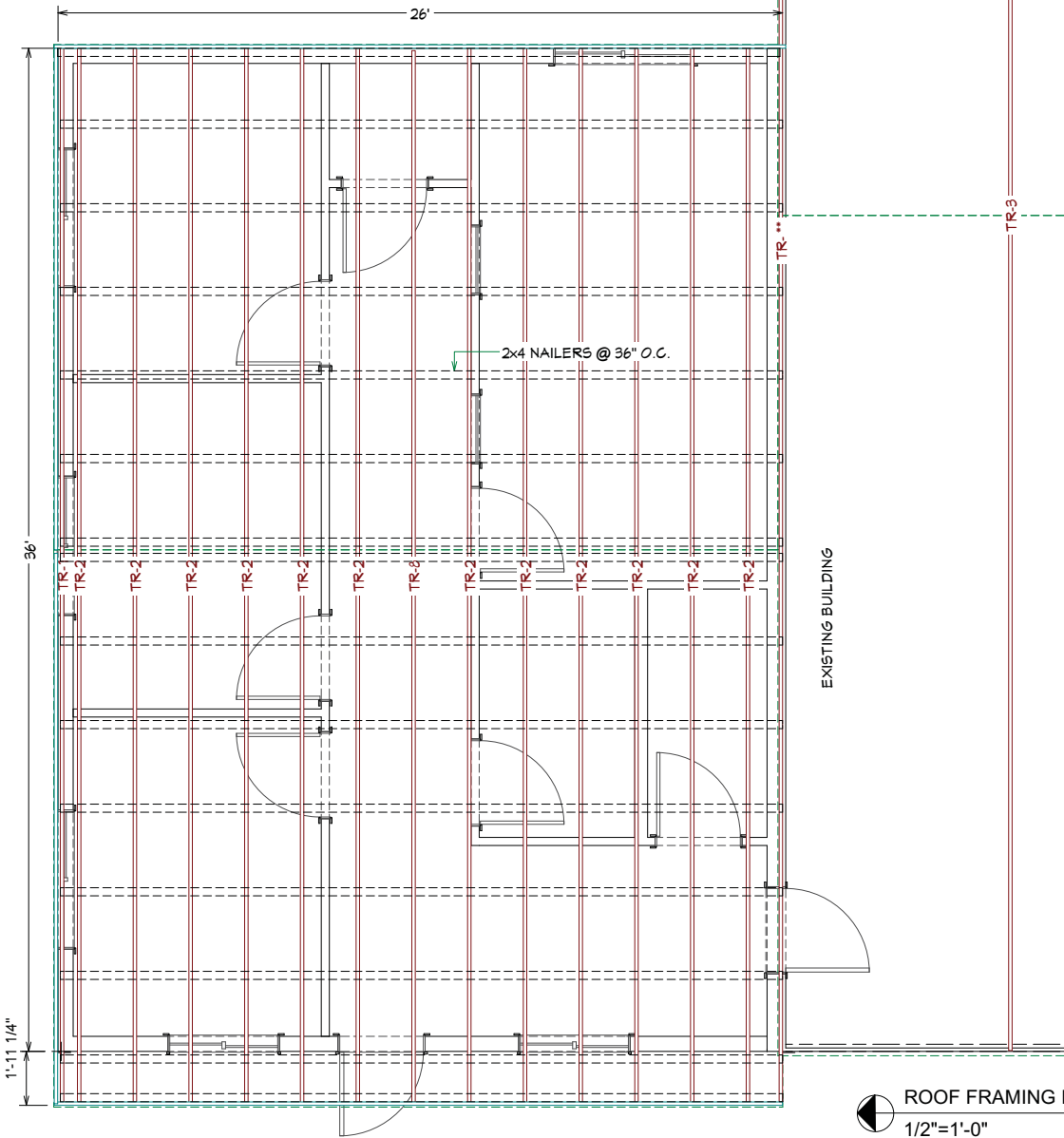
David L. Jenkins & Assoc., P.C.
 ARCHITECTS - PROFESSIONAL CORPORATION

2020 SLEEVEN RD., ROCKFORD, ILLINOIS
 PHONE (815) 391-0111 FAX (815) 391-0118

FILE NAME: PROJECTOR: PROJECT NO.:
 DATE: DELONG CO. INC. 024-25
 REVISED: PROJECT NAME:
 340 UNION ST.
 EVANSVILLE, WI 53536

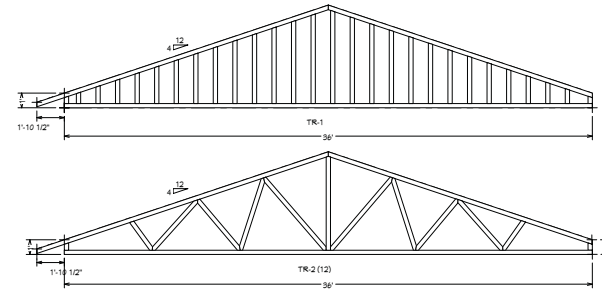
PROJECT NO.: 024-25

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EXISTING BUILDING

ROOF FRAMING PLAN
1/2" = 1'-0"



SEE TRUSS MANUFACTURE'S DRAWINGS
FOR ALL TRUSS DESIGN INFORMATION



LICENSE NUMBER:
1234567890

OFFICE PLANS FOR:
The DeLong Co.
340 Union St.
Evansville, Wisconsin 53536
CELL PHONE: 608-290-4536

PAGE TITLE:
TRUSS PLAN

DRAWN BY:
JMH

DATE:
8/15/2024

SCALE:
1/2" = 1'0"

SHEET #:
A7

COMPLIANCE STATEMENT
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ARCHITECT UNDER THE STATUTES OF THE STATE OF WISCONSIN AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

David Jenkins
DAVID L. JENKINS ARCHITECT

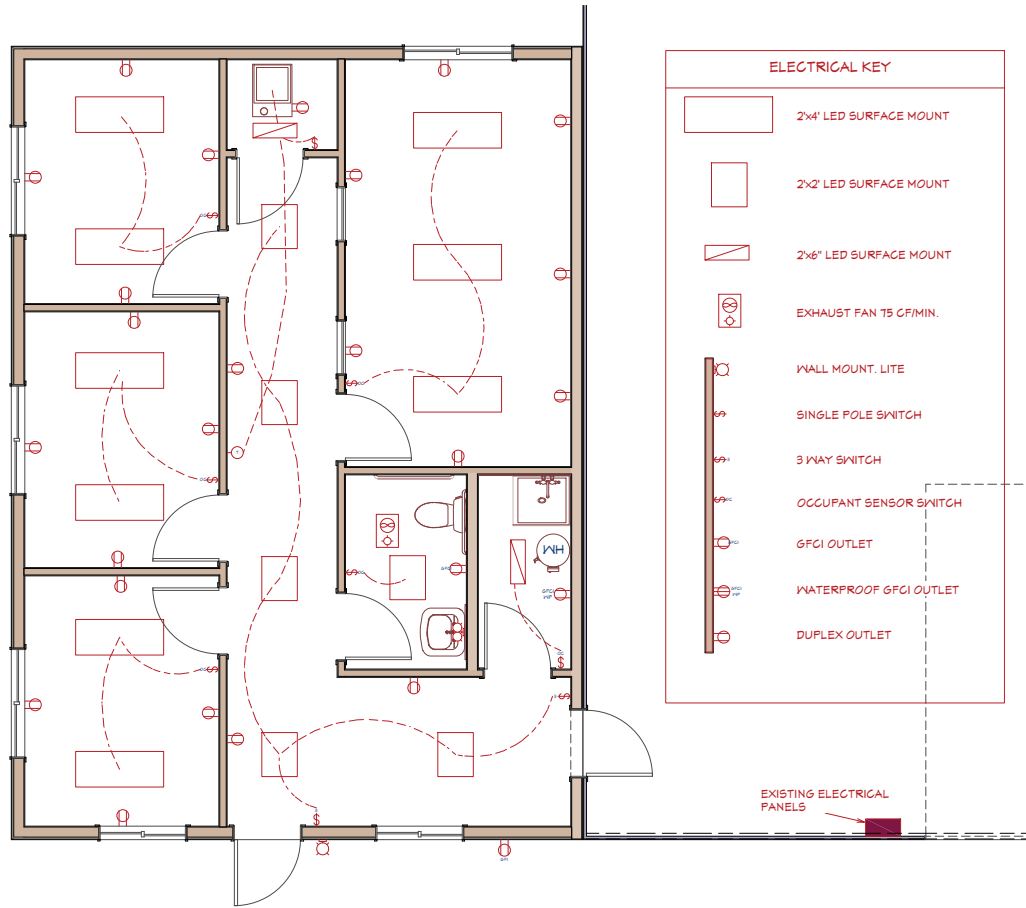
DATE: OCTOBER 3, 2024

David L. Jenkins & Assoc., P.C.
ARCHITECTS & ENGINEERS


2022 SLEAVEN RD., ROCKFORD, ILLINOIS
PHONE (815) 391-0111 FAX (815) 391-0118












FILE NAME: CONTRACTOR: PROJECT NO: 024-23
DATE: DELONG CO. INC.
REVISED: PROJECT NAME: 340 UNION ST.
PROPOSED: EVANSVILLE, WI 53536

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ELECTRICAL DESIGN
BY OTHERS

 **ELECTRICAL PLAN**
3/8"=1'-0"

ELECTRICAL KEY	
	2x4' LED SURFACE MOUNT
	2x2' LED SURFACE MOUNT
	2x6' LED SURFACE MOUNT
	EXHAUST FAN 75 CF/MIN.
	WALL MOUNT. LITE
	SINGLE POLE SWITCH
	3 WAY SWITCH
	OCCUPANT SENSOR SWITCH
	GFCI OUTLET
	WATERPROOF GFCI OUTLET
	DUPLEX OUTLET



BASIC WINDOW FLASHING INSTALLATION:

- 1) PREPARE ROUGH OPENING: CUT STND. "1-CUT" IN THE W/RB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
 - 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
 - 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
 - 4) REPLACE W/RB FLAP AT HEAD AND TAPE REMAINING CUTS IN W/RB
- *REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS



LICENSE NUMBER:
1234567890

OFFICE PLANS FOR:
The DeLong Co.
340 Union St.
Evansville, Wisconsin 53536
CELL PHONE: 608-290-4536

PAGE TITLE:
ELECTRICAL PLAN

DRAWN BY:
JMH

DATE:
8/15/2024

SCALE:
3/8" = 1'0"

SHEET #:
A8

COMPLIANCE STATEMENT
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David Jenkins
DAVID L. JENKINS ARCHITECT

DATE: OCTOBER 3, 2024

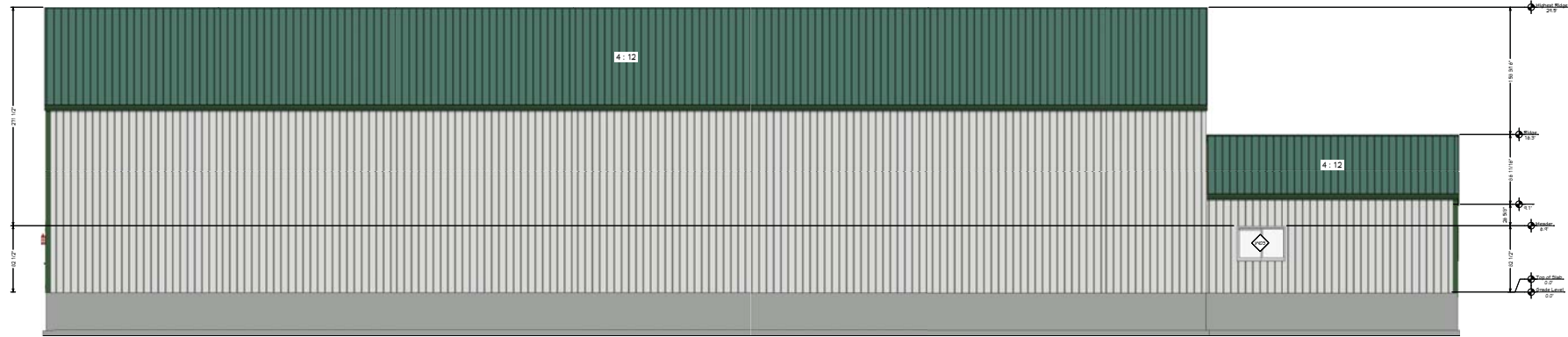
David L. Jenkins & Assoc., P.C.
ARCHITECTS AND DESIGNERS
2020 SLENNY RD., ROCKFORD, ILLINOIS
PHONE (815) 951-0111 FAX (815) 951-0118

FILE NAME:	CONTRACTOR:	PROJECT NO.:
DATE:	DELONG CO. INC.	024-25
REVISED:	340 UNION ST.	
APPROVED:	EVANSVILLE, WI 53536	

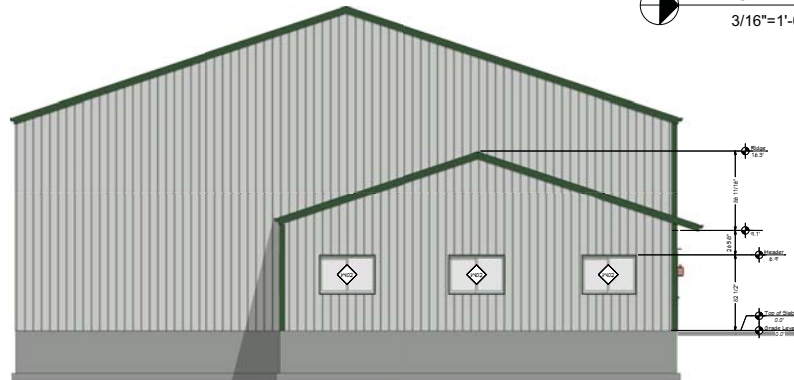
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WEST ELEVATION
3/16"=1'-0"



EAST ELEVATION
3/16"=1'-0"



NORTH ELEVATION
3/16"=1'-0"



LICENSE NUMBER:
1234567890

OFFICE PLANS FOR:
The DeLong Co.
340 Union St.
Evansville, Wisconsin 53536
CELL PHONE: 608-290-4536

PAGE TITLE:
ELEVATIONS

DRAWN BY:
JMH

DATE:
8/15/2024

SCALE:
3/16" = 1'0"

SHEET #:
A9

COMPLIANCE STATEMENT
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A QUALIFIED PROFESSIONAL ARCHITECT UNDER THE STATUTES AND REGULATIONS OF THE STATE OF WISCONSIN AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

David Jenkins
DAVID L. JENKINS ARCHITECT

DATE: OCTOBER 3, 2024

David L. Jenkins & Assoc., P.C.
ARCHITECTS & PLANNERS
2023 SLEEVEN RD., ROCKFORD, ILLINOIS
PHONE (815) 391-0111 FAX (815) 391-0118

FILE NAME:	CONTRACTOR:	PROJECT NO.:
DATE:	DELONG CO. INC.	024-23
REVISED:	340 UNION ST.	
APPROVED:	EVANSVILLE, WI 53536	

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APPLICATION FOR PETITION FOR ANNEXATION – STAFF REPORT

Application No.: A-2024-01 Applicant: Kwik Trip LLC

Parcels 6-20-228.1 (Tax ID 040 04200201)

6-20-326.506 (040 0651006)

6-20-326.507 (040 0651007)

Presented October 1, 2024

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

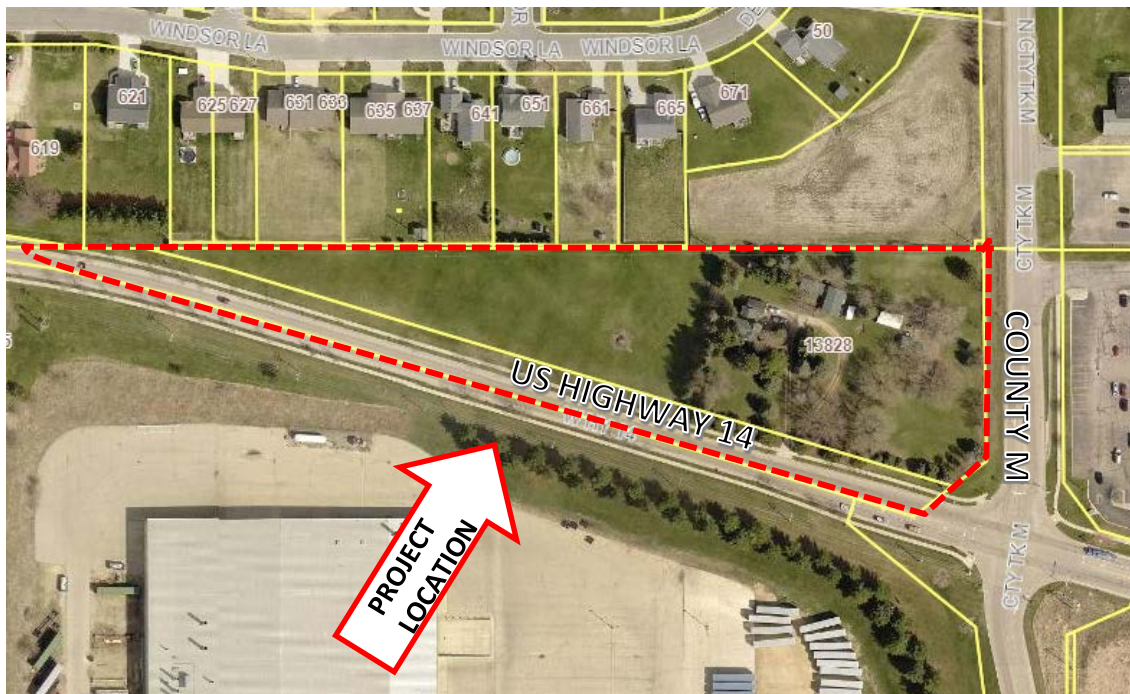


Figure 1: Location Map

Description of request: The applicant has submitted a petition to annex approximately 3.8 acres from the Town of Union into the City of Evansville. Kwik Trip LLC has entered into a purchase agreement with the current owners of the property and the sale is contingent on a successful annexation petition. The subject property is located at the northwest corner of County Highway M and US Highway 14/East Main Street as generally depicted in the map above. The parcel is proposed to temporarily be in the City’s A Agriculture zoning district. Formal rezoning is expected to occur when a site plan and conditional use permit application are submitted.

Staff Analysis of Request: The applicant is looking to annex the subject parcel in order to build a Kwik Trip convenience store and gas station. Part of City approval will be executing an annexation agreement with the landowner and/or agent. The proposed annexation agreement includes the amount of taxes owed to the Town of Union, an amount that is to be covered by the applicant, and acknowledges timing of connections to City utilities. Utilities are located along

Highway 14 on the south side of the property. The site currently contains a single family residence and outbuildings that are served by private well and septic systems.

This annexation would also include two small parcels, each around 870 square feet each, that are in the same ownership as the main property and still within the Town of Union. The location of these parcels are highlighted below. Staff is not entirely sure why these small parcels exist, as they continue further east along the rear of properties which are in the City and otherwise undevelopable.



Future land use and anticipated zoning. The Future Land Use Map designates “Walkable Business” for this land. “Walkable Business” is defined in the Comprehensive Plan as “high quality indoor commercial, retail, office, and service businesses designed to the pedestrian friendly. Sites will have generous landscaping and be oriented to minimize the visual impact of parking lots.” Emphasis has been added to draw attention to staff comment in response to concept plans

submitted for initial review against City standards. Staff is suggesting the applicant rezone the property to B-1 Local Business or B-3 Community Business zoning district. Careful consideration will be given to compliment the residential neighborhood north of the site.

While this evening's review does not focus on the site plan, Plan Commission is welcome to offer suggestions for site design in anticipation of a future site plan application, which is expected for the November Plan Commission meeting. For instance, staff has asked that any mature trees in good condition, particularly when located on the boundary of the property, be preserved if possible.

Specific to annexation, City decision makers should consider the following items:

1. **Consistency with Comprehensive Plan:** The proposed annexation is consistent with the City's future land use map, which depicts the property within the City's 2035 expected land use boundary.
2. **Environmental constraints:** The site is adjacent to a City stormwater pond. Initial site plans shared with City staff indicate that there will likely be small stormwater retention areas on site as well. Beyond these considerations, no environmental constraints that would impede development are known.
3. **Man-made constraints:** To the best of staff's knowledge, the subject properties do not contain underground storage tanks or contaminated soils, buried waste, or other man-made constraints to development. Future development requiring utilities will be properly supplied to the parcel per approval and coordination with the City Engineer.
4. **Septic systems and wells:** A private well and septic system are currently present on site and serve the single family home that still stands. These will need to be abandoned and removed prior to the new user connecting to City utility services.
5. **Payment to Town of Union:** The subject property is currently located in the Town of Union. Pursuant to State law, the City must pay the Town the property taxes that would have been paid over the next five years. The applicant will pay this amount to the City to cover this expense as a condition of annexation.
6. **Proposed zoning:** The land is currently zoned for agriculture within the Town of Union. Staff suggests the parcel remain zoned for Agriculture until formal plans for development or land division are submitted.
7. **Wisconsin Department of Administration:** Consistent with State law, the petition must be forwarded to the Department of Administration (DOA) for its review. The annexation petition has not been submitted at the time of writing, but will be by the time Common Council has its first reading of the annexation ordinance and likely will receive comments prior to the second and final reading. This annexation would create a Town island of the property at 14025 US Highway 14. Normally, the DOA frowns upon leaving Town properties on their own in such a manner when annexation occurs nearby. However, City staff are aware that this is less an issue when annexation for a property is deemed to be "imminent." In the case of 14025 US Highway 14, City utilities are already located in front of the property. Should their septic system fail, a permit renewal is unlikely and the property would then have to come into the City in order to receive services. Staff would like to note that "imminent" is not based on a timeline, but the probability and likelihood that a property owner would face no choice but to annex at a later date.

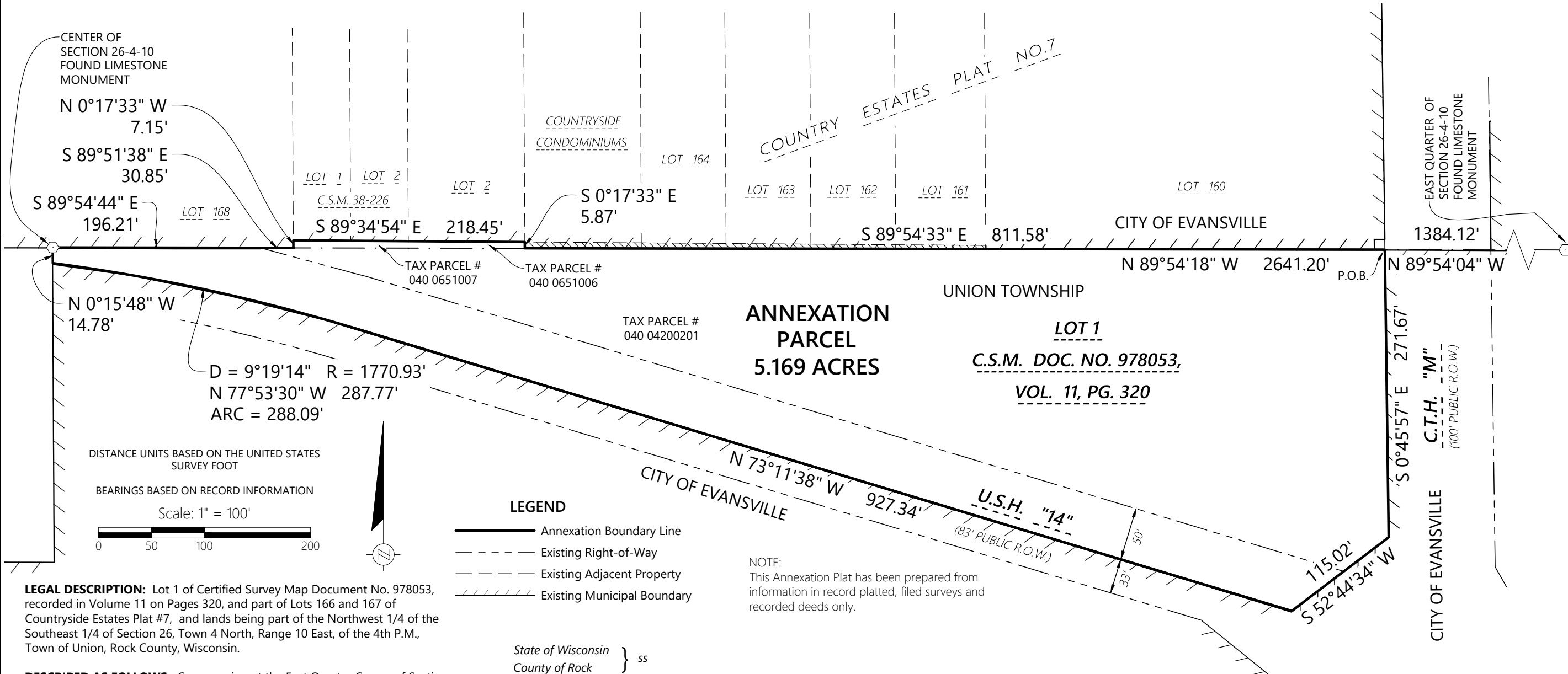
Summary: Planning staff finds the proposed annexation largely complies with state law, city ordinances and Comprehensive Plan. The City is also waiting on the DOA for its determination. Staff recommends approval of the annexation and annexation agreement with conditions.

Staff recommended motion: *Finding the annexation is consistent with the Comprehensive Plan, the Plan Commission recommends Common Council approval of Ordinance 2024-13 and the annexation agreement with the following conditions:*

- 1. DOA deems annexation to be in the public interest.*
- 2. The applicant signs and accepts the Annexation agreement.*

PLAT SHOWING TERRITORY ANNEXED TO THE CITY OF EVANSVILLE

LOT 1 OF CERTIFIED SURVEY MAP DOCUMENT NO. 978053, RECORDED IN VOLUME 11 ON PAGES 320, AND PART OF LOTS 166 AND 167 OF COUNTRYSIDE ESTATES PLAT #7, AND LANDS BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26, TOWN 4 NORTH, RANGE 10 EAST, OF THE 4TH P.M., TOWN OF UNION, ROCK COUNTY, WISCONSIN.



LEGAL DESCRIPTION: Lot 1 of Certified Survey Map Document No. 978053, recorded in Volume 11 on Pages 320, and part of Lots 166 and 167 of Countryside Estates Plat #7, and lands being part of the Northwest 1/4 of the Southeast 1/4 of Section 26, Town 4 North, Range 10 East, of the 4th P.M., Town of Union, Rock County, Wisconsin.

DESCRIBED AS FOLLOWS: Commencing at the East Quarter Corner of Section 26, Township 4 North, Range 10 East; thence North 89°54'04" West a distance of 1,384.12 feet to a point on the Westerly Right-of-Way of County Trunk Highway "M" being the Point of Beginning; thence along the aforesaid Westerly Right-of-Way South 0°45'57" East a distance of 271.67 feet; thence South 52°44'34" West a distance of 115.02 feet to the center of the Right-of-Way for U.S. Highway "14"; thence along the aforesaid center of the Right-of-Way North 73°11'38" West a distance of 927.34 feet; thence 288.09 feet along the arc of a curve to the left having a radius of 1,770.93 feet and a chord which bears North 77°53'30" West a distance of 287.77 feet; thence North 0°15'48" West a distance of 14.78 feet to a limestone monument at the Center of Section 26; thence South 89°54'44" East a distance of 196.21 feet; thence South 89°51'38" East a distance of 30.85 feet; thence North 0°17'33" West a distance of 7.15 feet; thence South 89°34'54" East a distance of 218.45 feet; thence South 0°17'33" East a distance of 5.87 feet; thence South 89°54'33" East a distance of 811.58 feet to the Point of Beginning. Containing 5.169 acres of land, more or less.

State of Wisconsin }
County of Rock } ss

I, Leah Hurlley, Clerk of the City of Evansville, Rock County, Wisconsin, do hereby certify that the above described parcel of real estate has by ordinance duly adopted by the City of Evansville, Rock County, Wisconsin, been annexed from the Town of Union, Rock County, Wisconsin, to the City of Evansville, Rock County, Wisconsin. That the Plat hereon drawn is a correct representation of the annexation of said territory.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the official seal of the City of Evansville, Rock County, Wisconsin this _____ day of _____, 2024.
_____, Clerk

That I hereby certify that the Plat of Annexation as described and hereon drawn correctly represents said territory as described and said Plat is true and correct.

Dated this 26th day of September, 2024.

Kristin J. Belongia, PLS 2943

Batterman
engineers surveyors planners
BELOIT | ELKHORN | JANESVILLE
2857 S. Bartells Dr., Beloit, WI 53511
608.365.4464 | www.rhbatterman.com

ANNEXATION PLAT

FOR THE EXCLUSIVE USE OF:
Mark R. Heissner & Cheryl Northcutt
11030 N East Union Road
Evansville, WI 53536

ORDER NO: 35241
DRAWN BY: BMR
SHEET 1 OF 1
DATED: 9 - 26 - 2024

File Name: J:\3200 - 35299\35241 - Kwik Trip - Fulton\SURVEY\RHB DRAWING FILES

Agenda Item 7H

Annexation Agreement with Kwik Trip LLC and the City of Evansville, Rock County, Wisconsin

THIS AGREEMENT is entered into between the City of Evansville (City), a Wisconsin municipal corporation, and Kwik Trip LLC (Developer), regarding annexation of the following described lands (subject property):

Lot 1 of Certified Survey Map Document No. 978053, recorded in Volume 11 on Pages 320, and part of Lots 166 and 167 of Countryside Estates Plat #7, and lands being part of the Northwest 1/4 of the Southeast 1/4 of Section 26, Town 4 North, Range 10 East, of the 4th P.M., Town of Union, Rock County, Wisconsin

Commencing at the East Quarter Corner of Section 26, Township 4 North, Range 10 East; thence North $89^{\circ}54'04''$ West a distance of 1,384.12 feet to a point on the Westerly Right-of-Way of County Trunk Highway "M" being the Point of Beginning; thence along the aforesaid Westerly Right-of-Way South $0^{\circ}45'57''$ East a distance of 271.67 feet; thence South $52^{\circ}44'34''$ West a distance of 115.02 feet to the center of the Right-of-Way for U.S. Highway "14"; thence along the aforesaid center of the Right-of-Way North $73^{\circ}11'38''$ West a distance of 927.34 feet; thence 288.09 feet along the arc of a curve to the left having a radius of 1,770.93 feet and a chord which bears North $77^{\circ}53'30''$ West a distance of 287.77 feet; thence North $0^{\circ}15'48''$ West a distance of 14.78 feet to a limestone monument at the Center of Section 26; thence South $89^{\circ}54'44''$ East a distance of 196.21 feet; thence South $89^{\circ}51'38''$ East a distance of 30.85 feet; thence North $0^{\circ}17'33''$ West a distance of 7.15 feet; thence South $89^{\circ}34'54''$ East a distance of 218.45 feet; thence South $0^{\circ}17'33''$ East a distance of 5.87 feet; thence South $89^{\circ}54'33''$ East a distance of 811.58 feet to the Point of Beginning.

Containing 5.169 acres of land, more or less

WHEREAS, the Developer wishes to annex the subject property into the City; and

WHEREAS, the Developer has entered into a letter of intent to purchase said lands from current land owners, listed as follows

- Parcel 6-20-228.1
- Parcel 6-20-326.506
- Parcel 6-20-326.507

WHEREAS, those landowners have agreed to cede control of land until such a time that purchase is finalized;

NOW, THEREFORE, the parties agree that this agreement is binding on the Developer and all successors in interest as follows:

Agenda Item 7H

1. The Developer agrees to pay for the actual amount of \$12,831.55 in taxes that are to be paid to the Town of Union over the next five-year period as provided for in 66.0217(14)(a) of the Wisconsin Statutes. The Developer shall pay the \$12,831.55 in a lump sum upon annexation into the City.
2. A timeline and plan for upgrades, costs, and connections to City sanitary, water, and other utilities to be detailed and agreed upon by separate agreement between the City and Developer.
3. Within two months of connecting to the City's sanitary sewer system, unless otherwise identified in development agreement, the Developer agrees to abandon any existing septic systems consistent with the requirements of SPS 383.33 of Wisconsin Administrative Code, and other state and federal laws that may apply.
4. Within two months of connecting to the City's water system, the Developer agrees to remove from service and seal any existing wells, as per NR 812.26 of Wisconsin Administrative Code, unless otherwise identified in development agreement.
5. The Developer agrees to reimburse the City for any costs incurred by the City for engineering, inspection, planning, legal, and administrative expenses in connection with this annexation and development.

IN WITNESS THEREOF, the parties have executed this Agreement on the ___ day of ___, 2024

City of Evansville

Developer

Dianne Duggan, Mayor

NAME, Kwik Trip LLC

ATTEST: _____

Leah Hurtley, City Clerk

Agenda Item 7H

CITY OF EVANSVILLE ORDINANCE # 2024-13

AN ORDINANCE ANNEXING TERRITORY FROM THE TOWN OF UNION TO THE CITY OF EVANSVILLE, WISCONSIN (Parcels 6-20-228.1, 6-20-326.506, Parcel 6-20-326.507)

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Territory Annexed. In accordance with Sec. 66.0217(2) of the Wisconsin Statutes and the Petition of Property Owners for Direct Annexation filed with the City Clerk on September 16, 2024, and the findings of the Common Council that such annexation is in the best interest of the City and all necessary notices having been given and the Department of Administration not stating the proposed annexation to be against public interest, and the plan commission having reviewed and recommended for approval the zoning district classifications, the following described territory located in the Town of Union, Rock County, Wisconsin, with boundaries contiguous to the City as shown on the attached scale map, is hereby annexed to the City of Evansville, Rock County, Wisconsin, to wit:

Lot 1 of Certified Survey Map Document No. 978053, recorded in Volume 11 on Pages 320, and part of Lots 166 and 167 of Countryside Estates Plat #7, and lands being part of the Northwest 1/4 of the Southeast 1/4 of Section 26, Town 4 North, Range 10 East, of the 4th P.M., Town of Union, Rock County, Wisconsin

Commencing at the East Quarter Corner of Section 26, Township 4 North, Range 10 East; thence North 89°54'04" West a distance of 1,384.12 feet to a point on the Westerly Right-of-Way of County Trunk Highway "M" being the Point of Beginning; thence along the aforesaid Westerly Right-of-Way South 0°45'57" East a distance of 271.67 feet; thence South 52°44'34" West a distance of 115.02 feet to the center of the Right-of-Way for U.S. Highway "14"; thence along the aforesaid center of the Right-of-Way North 73°11'38" West a distance of 927.34 feet; thence 288.09 feet along the arc of a curve to the left having a radius of 1,770.93 feet and a chord which bears North 77°53'30" West a distance of 287.77 feet; thence North 0°15'48" West a distance of 14.78 feet to a limestone monument at the Center of Section 26; thence South 89°54'44" East a distance of 196.21 feet; thence South 89°51'38" East a distance of 30.85 feet; thence North 0°17'33" West a distance of 7.15 feet; thence South 89°34'54" East a distance of 218.45 feet; thence South 0°17'33" East a distance of 5.87 feet; thence South 89°54'33" East a distance of 811.58 feet to the Point of Beginning.

Containing 5.169 acres of land, more or less

SECTION 2. Population of Territories. At the time the annexation petition was submitted to the city, the population of the territories was 0.

SECTION 3. Payments to Town of Union. Pursuant to Sec. 66.0217(14)(a) of the Wisconsin Statutes, the City of Evansville agrees to pay annually to the Town of Union, for five (5) years, an amount equal to the amount of property taxes levied by the Town of Union on the annexed

territory, as shown by the tax roll, in the year in which the annexation is final. The City of Evansville intends to recover such payments from the property owner consistent with the annexation agreement with the City.

SECTION 4. Effect of Annexation. From and after the date of this ordinance, the territory described in Section 1 shall be part of the City of Evansville for any and all purposes provided by law and all persons coming or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Evansville and shall be exempt from further taxation and assessment by the Town of Union.

SECTION 5. Zoning Classification. Upon recommendation of the Plan Commission, the territory annexed to the City is designated as Agricultural.

SECTION 6. Election District Designation. The territory annexed by this ordinance is hereby made part of Ward 12, Aldermanic District 3 subject to the ordinances and rules and regulations regarding such wards and districts.

SECTION 7. Severability. If any provision of this ordinance is invalid or unconstitutional, or if the application of the ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 8. Effective Date. This ordinance shall take effect upon its passage and publication as provided by law.

Passed and adopted this ___ day of November, 2024

Dianne Duggan, Mayor

ATTEST:

Leah Hurtley, City Clerk

Introduced: 10/1/2024
Notices published: 9/20/2024 and 9/24/2024
Public hearing held: 10/1/2024
Adopted:
Published:

Sponsors: This is a citizen-initiated ordinance.

Drafted on September 27, 2024 by Colette Spranger, Community Development Director



APPLICATION FOR ANNEXATION – STAFF REPORT

Application No.: A-2024-02 Applicant: City of Evansville

Parcels 6-20-305 (Tax ID 040 062001)

6-20-326.305.01 (040 0620010001)

6-20-219B (040 0400302)

Presented October 1, 2024

Prepared by: Colette Spranger, Community Development Director

Direct questions and comments to: c.spranger@evansvillewi.gov or 608-882-2263

Figure 1: Location Maps



Description and staff analysis of request: The application for review is a clean up of Ordinance 2023-08, which increased the geographical size of the City by over 240 acres. Legal descriptions for that annexation omitted certain areas of right-of-way to the centerlines of County Highway M and US Highway 14. (See locations depicted above.)

These rights-of-way were included as part boundaries for TID (Tax Increment District) #10, which the City and Joint Review Board created in January 2024. The annexation of these lands is sought to avoid having to amend the boundaries of Tax Increment Finance District #10. The City cannot include any parcels within the Town as part of its tax increment finance district, even if those parcels are technically right-of-way reserved for the public transportation network. The City has four opportunities to amend the boundaries of the district over its twenty year life and would rather not use one for clean up of legal descriptions.

These lands have no developable capability beyond roadway and are (or are in process of) becoming City-owned property. Per Wis. Stats. § 66.0223, territory owned and lying near a city may be annexed by ordinance by Common Council. Once the lands are officially within City ownership, Common Council can pass the resolution transferring lands to the City. No petition needs to be made to the Department of Administration. In this case, the parcels in question are contiguous to other properties within the City's boundary.

The City is also waiting on finalized legal descriptions to create an official plat of the lands proposed for annexation. The City has a deadline of October 10th to rectify the issue with the Department of Revenue without having to use one of its four amendments.

Future land use and anticipated zoning. Upon annexation, the City intends to dedicate these lands to the public for right-of-way purposes.

Specific to annexation, City decision makers should consider the following items:

1. **Consistency with Comprehensive Plan:** The proposed annexation is consistent with the City's future land use map, which depicts the property within the City's 2035 expected land use boundary.
2. **Environmental constraints:** None.
3. **Man-made constraints:** None.
4. **Septic systems and wells:** None.
5. **Payment to Town of Union:** There may be a nominal payment for these lands, but that has not been yet calculated by Rock County for 2024.
6. **Proposed zoning:** The land is currently zoned for agriculture within the Town of Union. Staff suggests the parcels be formally dedicated to the public for right-of-way purposes.
7. **Wisconsin Department of Administration:** Upon passing the ordinance bringing these lands into the City, the City must forward its decision to the Departments of Administration and Transportation, among others listed in Wis. Stats. § 66.0223. The City will comply with what is asked of it by the DOA.

Summary: Planning staff finds the proposed annexation largely complies with state law, city ordinances and Comprehensive Plan.

Staff recommended motion: *Finding the annexation is consistent with the Comprehensive Plan, the Plan Commission recommends Common Council approve Ordinance 2024-09.*

CITY OF EVANSVILLE
ORDINANCE # 2024-09

AN ORDINANCE ANNEXING TERRITORY FROM THE TOWN OF UNION TO THE
CITY OF EVANSVILLE, WISCONSIN
(Parcels 6-20-219B, 6-20-305, and 6-20-305.0)

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Territory Annexed. In accordance with Sec. 66.0223 of the Wisconsin Statutes and the findings of the Common Council that such annexation is in the best interest of the City and all necessary notices having been given and the Department of Administration not stating the proposed annexation to be against public interest, and the plan commission having reviewed and recommended for approval the zoning district classifications, the following described territory located in the Town of Union, Rock County, Wisconsin, with boundaries contiguous to the City as shown on the attached scale map, is hereby annexed to the City of Evansville, Rock County, Wisconsin, to wit:

Parcel 6-20-305

Section 35, Township 4 North, Range 10 East, in the Town of Union
E1/2 NE1/4 (EXC RR) (EXC PT SW OF RR)
(EXC COM NE COR W 1271.41' TO POB, S 1342.81' TO N LN RR,
NW 7.51' TO E R/W LN, N 1339.99', E 7' TO POB)
(EXC PT DESC IN DOC 2253619)

0.57 acres

Parcel 6-20-305.01

Section 35, Township 4 North, Range 10 East, in the Town of Union
PT E1/2 NE1/4 COM NE COR W 1271.1' TO POB,
S 1342.81' TO N LN RR, NW 7.51' TO E RTWAY LN,
N 1339.99', E 7' TO POB

0.21 acres

Parcel 6-20-219B

Section 25, Township 4 North, Range 10 East, in the Town of Union
THAT PT SW1/4 LYING S OF
US HWY 14 ALSO PT SE1/4
COM S1/4 COR, N 1040.44',
E 48.27' TO C/L, S 1025.96',
W 47.19' TO POB SUBJ TO R/W
(EXC ANNEX 06)

(EXC PCL 1 FOR HWY DESC IN
TPP 5155-02-21-4.02 AMEND 2
REC AS TPP-E76 DOC 2041511)
(EXC PT DESC IN DOC 2283619)

1.2 acres

SECTION 2. Population of Territories. At the time the annexation petition was submitted to the city, the population of the territories was 0.

SECTION 3. Payments to Town of Union. Pursuant to Sec. 66.0217(14)(a) of the Wisconsin Statutes, the City of Evansville agrees to pay annually to the Town of Union, for five (5) years, an amount equal to the amount of property taxes levied by the Town of Union on the annexed territory, as shown by the tax roll, in the year in which the annexation is final. The City of Evansville intends to recover such payments from the property owner consistent with the annexation agreement with the City.

SECTION 4. Effect of Annexation. From and after the date of this ordinance, the territory described in Section 1 shall be part of the City of Evansville for any and all purposes provided by law and all persons coming or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Evansville and shall be exempt from further taxation and assessment by the Town of Union.

SECTION 5. Zoning Classification. Upon recommendation of the Plan Commission, the territory annexed to the City is designated as Right-of-Way.

SECTION 6. Election District Designation. The territory annexed by this ordinance is hereby made part of Ward 9, Aldermanic District 4 subject to the ordinances and rules and regulations regarding such wards and districts.

SECTION 7. Severability. If any provision of this ordinance is invalid or unconstitutional, or if the application of the ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 8. Effective Date. This ordinance shall take effect upon its passage and publication as provided by law.

Passed and adopted this 8th day of October, 2024

Dianne Duggan, Mayor

ATTEST:

Leah Hurtley, City Clerk

Introduced: 09/10/2024
Notices published: 9/17/2024 and 9/24/2024
Public hearing held: 10/1/2024
Adopted:
Published:

Sponsors: This is a City-initiated ordinance.

*Drafted on September 6, 2024 by Colette Spranger, Community Development Director
Revised on September 27, 2024 by Colette Spranger.*