

NOTICE

A meeting of the City of Evansville Common Council will be held at the location, on the date, and at the time stated below. Notice is further given that members of the Plan Commission and Economic Development Committee may be in attendance. Requests for persons with disabilities who need assistance to participate in this meeting should be made by calling City Hall at (608)-882-2266 with as much notice as possible. Please turn off all cell phones while meeting is in session. Agendas, minutes, and packets can be found here: www.ci.evansville.wi.gov/councilmeetings.

City of Evansville Common Council
Regular Meeting
City Hall, 31 S Madison St, Evansville WI 53536
Tuesday, September 12, 2023, 6:00 p.m.

AGENDA

1. Call to order
2. Roll call
3. Motion to Approve the Agenda
4. Motion to waive the reading of the minutes of the August 8, 2023 regular meeting, August 17, 2023 and August 20, 2023 special meetings and approve as presented.
5. Civility reminder
6. Citizen appearances other than agenda items listed.
 - A. Leading with Purpose - Tom Hanrahan, WPPI presentation.
7. Reports of Committees
 - A. Library Board Report
 - B. Parks and Recreation Board Report
 - C. Plan Commission Report
 - 1) Second Reading and Motion to Approve Ordinance 2023-08, an Ordinance Annexing 241.45 acres from the Town of Union to the City of Evansville.
 - 2) Second Reading and Motion to Approve Ordinance 2023-10, an Ordinance Rezoning Lands to I-2 Heavy Industrial
 - 3) Second Reading and Motion to Approve Ordinance 2023-9 for a Comprehensive Plan Amendment
 - 4) Motion to Approve Land Division Application 2022-0226 for a Final Subdivision Plat (Historic Standpipe Point) on parcel 6-27-930
 - 5) Motion to Approve Land Divider's Agreement for Historic Standpipe Point with conditions as stated in staff report
 - D. Finance and Labor Relations Committee Report

- 1) Motion to accept the August 2023 City bills as presented in the amount of \$1,837,919.58.
 - 2) Motion to Approve a 24-month Contract with Spectrum Enterprise for Dedicated Fiber Internet Service.
 - 3) Motion to Approve Resolution #2023-26 Authorizing \$200,000 General Obligation Bonds for Parks and Public Grounds Projects
 - 4) Motion to Approve Resolution #2023-27 Authorizing \$215,000 General Obligation Bonds for Street Improvement Projects
 - 5) Motion to Approve Resolution #2023-28 Authorizing \$155,000 General Obligation Bonds for Sewerage Projects
 - 6) Motion to Approve Resolution #2023-29 Authorizing \$25,000 General Obligation Bonds for the Construction of Police Facilities
 - 7) Motion to Approve Resolution #2023-30 Authorizing \$365,000 General Obligation Bonds for Swimming Pool Projects
 - 8) Motion to Approve Resolution #2023-31 Authorizing \$14,470,000 General Obligation Refunding Bonds
 - 9) Motion to Approve Resolution #2023-32 Directing Publication of Notice to Electors Relating to Bond Issues
 - 10) Motion to Approve Resolution #2023-33 Authorizing the Issuance and Establishing Parameters for the Sale of Not to Exceed \$15,430,000 General Obligation Corporate Purpose Bonds, Series 2023A
- E. Public Safety Committee Report
- F. Municipal Services Report
- 1) Motion to Approve Resolution #2023-22 Amending the City of Evansville's Fee Schedule - Cemetery.
 - 2) Final assessment amounts and report from Town & Country Engineering on Liberty Street repairs.
 - 3) Motion to Approve Resolution #2023-24 Final Resolution Authorizing Public Improvement and Levying Special Assessments Against Benefitted Property in Evansville, WI.
- G. Economic Development Committee
- 1) Review and Motion to Revolving Loan Fund Application for Rich Joseph/Hop Garden LLC, 18 E Main Street
- H. Youth Center Advisory Board Report
- I. Historic Preservation Commission
- J. Fire District Report

- K. Police Commission Report
 - L. Energy Independence Team Report
 - M. Board of Appeals Report
8. Unfinished Business
 - A. Discussion and Possible Motion to Approve 2nd Amendment to Settler's Grove
 9. Communications and Recommendations of the Administrator
 10. Communications and Recommendations of the Mayor
 - A. Mayoral Proclamation #2023-04 Library Card Sign-Up Month 2023
 - B. Motion to appoint Megan Devorak, 6635 N Abey Ct, Evansville, WI 53536 to the unexpired three-year term to Youth Center Advisory Board expiring 2025.
 - C. Motion to appoint Gene Miller, 437 Badger Dr, Evansville, WI 53536 and Dennis Hughes, 715 Badger Dr, Evansville WI, to unexpired three-year terms to the Zoning Board of Appeals respectively expiring 2024 and 2025.
 11. New Business
 - A. Motion to Approve Resolution #2023-25 Amending the City of Evansville's Fee Schedule– Subdivision, Planning, and Zoning Fees
 12. Introduction of New Ordinances
 - A. First Reading of Ordinance #2023-07, Amending Chapter 26 - Cemeteries.
 13. Upcoming Meeting Reminder:
 - A. Budget presentations: Tuesday, September 26, 2023 6:00pm at City Hall
 - B. Regular Common Council Meeting, Tuesday October 12, 2023, at 6:00 p.m.
 14. Adjourn.

Dianne C. Duggan, Mayor

City of Evansville Common Council
Regular Meeting
City Hall, 31 S Madison St, Evansville WI 53536
Tuesday, August 8, 2023, 6:00 p.m.

MINUTES

1. **Call to order.** Mayor Duggan called the meeting to order at 6:00pm
2. **Roll call**

Members	Present/Absent	Others Present
Aldersperson, Abbey Barnes	P	Leah Hurtley, City Clerk
Aldersperson, Jim Brooks	P	Mark Kopp, City Attorney
Aldersperson, Ben Corridon	P	Colette Spranger, Community Developer Director
Mayor, Dianne Duggan	P	Julie Roberts, City Treasurer
Aldersperson, Ben Ladick	P	Jason Sergeant, City Administrator
Aldersperson, Gene Lewis	P	Megan Kloeckner, Library Director
Aldersperson, Joy Morrison	P	Kelly Gildner, Evansville Review
Aldersperson, Corey Neeley	P	Matthew Pooch, Capital Campaign
Aldersperson, Erika Stuart	P	Hannah O'Brien, Lovegood's Coffee/Cocktails
		Kevin Crezinski, Johnson Block
		Donald Strawski
		Jennifer Kraug
		Roger Berg

3. **Motion to approve the agenda by Brooks, seconded by Morrison. Motion passed 8-0.**
4. **Motion to waive the reading of the minutes of the July 11, 2023 regular meeting and the July 27, 2023 special meeting and approve as presented by Brooks, seconded by Corridon. Motion passed 8-0.**
5. **Civility reminder:** Duggan noted the City's commitment to civility and decorum at Council Meetings.
6. **Citizen appearances other than agenda items listed.**
 - A. **~~Leading with Purpose – Tom Hanrahan, WPPI presentation.~~**
To be rescheduled
 - B. **Presentation of 2022 Audit – Johnson Block**

Crezinski shared that he needed to follow up on a few items before finalizing the audit in the next week. The Fund Financial Statements are what the budget will be approved on. The General Fund is the main operating fund. There are a series of other Governmental funds (Debt Service, Capital Projects, TIF #5, etc.) that are used for current use and Business-Type Funds (utility account's funds). The Governmental Funds follow a different set of accounting principles than the utilities do. The City had budgeted for a deficit, but the General Fund increased by \$79,000. The unassigned fund balance is the difference between assets and liabilities, ending at \$1.7 million for the year. The water utility had a rate increase several years ago, so it had a positive rate of return. On the other hand, the electric utility had a negative rate of return, with a pending rate case in the works. The sewer had a positive operating income and appeared to be sufficient in cash flow. There was additional discussion on the comparison to our prior year, other municipalities that have their own utilities, and our TIF districts.

7. **Reports of Committees**

- A. **Library Board Report:** Kloechner read from her written report. The report read: This is our final week of SLC with a lot of great events, Escape Room, Evansville Night Out, Teen Scavenger Hunt, and Humane Society Visit, Reading logs for all ages are due by Saturday. The Snake Discovery program was our most popular program this summer with over 140 people attending. A brief program break begins next week through the end of August to allow staff time to refresh before fall programming begins.
- B. **Parks and Recreation Board Report:** Neeley reported that the meeting was a quiet meeting, with some follow up discussion on the trees at Lake Leota. There was some discussion for Ollie Schnepper to show some movies at the park, as well as some signage for the Adopt-a-Park.
- C. **Plan Commission Report**

- 1) **Motion to Approve a certified survey map to divide parcel 6-27-559.5051 into two lots for a two-family twin residence, located on Lot 51 Westfield Meadows, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the condition the final CSM and joint cross maintenance and access agreement are recorded with Rock County Register of Deeds by Neeley, seconded by Morrison. Motion passed 8-0.**

Spranger reported that this will be to place a zero lot line for a duplex. In order for the current owner to be able to sell both sides, there needs to be a lot line for each side. This can only occur if there is a shared wall already in place. The duplex is currently under construction, so this motion will create the two lots.

- 2) **Motion to Approve a certified survey map creating two lots from parent parcel 6-20-117.1 located at 14904 Bullard Road, Town of Union, finding that the application is in the public interest and meets the objectives contained within Sections 110-230 and 110-102(g) of city ordinances, with the following conditions:**
- i) The final certified survey map is recorded with Rock County Register of Deeds, along with the record of decision from the City outlining these conditions.
 - ii) The applicant fulfills any other obligations set forth by the Town of Union and Rock County.
 - iii) No further land division of these parcels occur prior to August 8, 2043 unless superseded by one or both of the following:
 - (i) An update to Article VII of the City's Subdivision ordinance, last amended by Ordinance 2020-12; or
 - (ii) The Town of Union and City of Evansville enter a boundary agreement.

Motion by Neeley, seconded by Lewis. Motion passed 8-0.

Spranger reported that this is for property in our extraterritorial jurisdiction. This property falls under the exception for land divisions, creating no more than five lots with a minimum lot size of 10 acres. The applicant has provided a sketch for how Lot 1 could be further subdivided. Lot 2 has some constraints that are unlikely for any use in the future.

- 3) **Motion to Approve a Certified Survey Map for parcel 6-20-340 in the Town of Union and finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances with the condition the applicant files the final certified survey map with the Rock County Register of Deeds by Brooks, seconded by Neeley. Motion passed 8-0.**

Spranger reported that the land owner is looking to create a conforming lot from an existing outlot from a prior platting for Golf Air Estates. The Town had issued a building permit and the County issued a septic permit prior to discovering that the lot is still classified as an outlot from

the original platting. A certified survey map will bring the lot into conformity with the Town's zoning and land division ordinances.

- 4) **Motion to Deny application 2023-0192 for a preliminary plat on parcel 6-20-218.B, finding that the application is inconsistent with Chapter 110 of the Municipal Code and with the City of Evansville Comprehensive Plan by Brooks, seconded by Morrison. Motion passed by Roll Call 8-0.**

Spranger reported that the application is almost identical from the original application from May. The current application included the covenants that existed on the property. The covenants are agreements between private parties, and the city would be unable to enforce them. There was additional discussion about why the land owners decided to reapply.

- 5) **Discussion of Ordinance 2023-08, an Ordinance Annexing 241.45 acres from the Town of Union to the City of Evansville.**

Spranger shared that this would be the first step for the potential Oil Seed Processing Plant to bring the 4 parcels into the City of Evansville. All of the land owners have agreed to annex into the city. The remaining motions for the Oil Seed Processing Plant hinge on the annexation.

- 6) **Motion to approve the preliminary certified survey map for parcels that include 6-27-958.07, 6-27-959.6, 6-20-219B, 6-20-318, 6-20-317.01, and 6-20-305, finding that the application is in the public interest and meets the objectives contained within Section 110-102(g) of city ordinances, with the following conditions:**

- i) **Common Council approves Annexation Ordinance 2023-08.**
- ii) **Final Certified Survey Map adjusted to include corrected road right of way parcels, utility easements, or out lots as directed by the City.**
- iii) **The Final Certified Survey Map is approved by the City and recorded with Rock County Register of Deeds.**

Motion by Brooks, seconded by Morrison. Motion passed 8-0.

Spranger reported that each of the motions will become more intertwined with each other and will have more conditions. The parcel will not be able to be created until the annexation has been finalized. Getting the land division approved and recorded will enable the rezoning, the comprehensive plan amendment, site plan, and the conditional use plan to become valid. The annexation would be the only thing that will not be able to be undone if the applicant were to back out. By intertwining all aspects, helps to prevent the City being left with a large piece of property that is zoned for Industrial Use that the next applicant would have to work to undo. The applicant intends to use the six existing parcels to create two parcels with 311.49 acres on lot 1 and 23.90 acres on Lot 2. There was some discussion on the traffic, roads, and road conditions.

- 7) **Discussion of Ordinance 2023-10, an Ordinance Rezoning Lands to I-2 Heavy Industrial**
Spranger shared that rezoning requires an ordinance. This would only apply to lot 1 for the 311 acre parcel. This is contingent on the approval of Ordinance 2023-08 and Ordinance 2023-09 as well. The approval of this ordinance would validate and enable the uses requested in the site plan and conditional use permit applications. There were some concerns that were discussed at the Public Hearing and Plan Commission on truck traffic, potential noise, vibration, smells, and if anything would be radioactive. These are items that are considered in the zoning code performance standards.
- 8) **Discussion of Ordinance 2023-9 for a Comprehensive Plan Amendment**

Spranger shared that there is an air permit that has the DNR reviewing the site for an air permit use to govern how much air particulate matter is ejected from the venting stack. As part of this, there would be areas beyond where the vents are, where development would not be allowed.

Motion to Adjust the Agenda to Move to immediately consider 7E1, followed by 11A and 11B by Brooks, seconded by Neeley. Motion passed 8-0.

D. Finance and Labor Relations Committee Report

- 1) **Motion to accept the July 2023 City bills as presented in the amount of \$2,583,721.07 by Brooks, seconded by Neeley. Motion passed by Roll Call 8-0.**
- 2) **Motion to Approve the Recreation Coordinator Position Description by Brooks, seconded by Neeley. Motion passed 8-0.**
- 3) **Motion to Approve the Compensation Philosophy by Brooks, seconded by Morrison. Motion passed 8-0.**

Neeley brought up concerns over the wage of the Municipal Services director. Neeley reported that the cost of the position could be built into our rates. He feels that it should be something that the city at least look at. Neeley feels that the market calls for a certain wage that wouldn't necessarily fall into the philosophy.

- 4) **Motion to approve the Letter of Intent for a Certified Local Government Grant from the State of Wisconsin Historic Preservation Office by Brooks, seconded by Neeley. Motion passed 8-0.**

Spranger reported that we are a Certified Local Government and there are federal funds available for things such as surveys of historical features of the city. The goal would be to find out how many carriage house exist and the condition of them. In addition, we would ask if we could get some guidelines on designs.

- 5) **Motion to Approve Resolution number 2023-20 Authorizing the Direct Charge of Public Fire Protection by Brooks, seconded by Neeley. Motion passed by Roll Call 8-0.**

Sergeant shared that this would move the Public Fire Protection Fee to the Utility bill instead of the City levying for it. This would help close the City's levy gap.

E. Public Safety Committee Report

- 1) **Motion to approve the Original Alcohol Beverage License applications for a Class B Beer/Class B Liquor License for:** (background check recommendations provided by Chief Reese, unless otherwise noted)
 - i) **Lovegood's Coffee & Cocktails, LLC, Hannah O'Brien, Agent, 524 Stonewood Ct., Evansville, WI 53536, 16 W. Main Street, Evansville, WI 53536.**

Motion by Stuart, seconded by Corridon. Motion passed 8-0.

Sergeant offered O'Brien an opportunity to share what her plans were for the new business.

F. Municipal Services Report

- 1) **Motion to Approve Madison Street Agreement with DOT by Brooks, seconded by Neeley. Motion passed by Roll Call 8-0.**

Sergeant explained that this will be for Madison Street from city limits on the south end to Union Street. This would redo the street including curb work, road surface, corner ADA ramps, etc. The design work would start now, and construction would not take place until 2029 or 2030. It is anticipated that the cost would be \$20,000 per year until construction. In the end, it

would cost the city \$185,250. The city would be unable to complete the work themselves for that cost, for the distance involved.

Brooks reported that a large portion of the meeting, was spent discussing job descriptions and compensation.

- G. **Economic Development Committee** Ladick reported that the committee had continued to work on the Business Summit. A keynote speak, Deb Carey, has been secured. Spranger added that TDS will be sponsoring as well, to offset some of the costs.
- H. **Youth Center Advisory Board Report:** Corridon reported that they didn't meet, but wanted to report that the Ducky Derby generated about \$2,500 for the Youth Center.
- I. **Historic Preservation Commission:** Lewis reported that the committee had met on-site at 339 W Liberty Street for a demolition of the garage. The owner had no plans to show for a new garage. It was determined that the current garage could be expanded out for a larger vehicle, if needed. The project was tabled until the next meeting. There was an approval for someone interested in repairing and restoring the fireplace at Lake Leota by the Pool Store.
- J. **Fire District Report:** Brooks reported that it was a pretty straight forward meeting.
- K. **Police Commission Report:** Did Not Meet
- L. **Energy Independence Team Report:** Meeting was moved to September
- M. **Board of Appeals Report:** Did Not Meet

8. **Unfinished Business** None

9. **Communications and Recommendations of the Administrator**

Sergeant reported that the City is collecting quotes to get fiber internet into the building to hopefully fix the internet and phones issues that have been occurring. It has been determined that the quality of the internet has been the problem. The email change is still occurring in the background. The Municipal Services Director ad was published again. Budget discussions are occurring with the Department Heads.

10. **Communications and Recommendations of the Mayor**

Duggan reported that there will be some changes that will occur once Brooks moves and leaves his position vacant.

11. **New Business**

A. **Updates on Capital Campaign: Recreation for Generations:**

Poock shared an update on the fundraising efforts through the last few months. The committed amount that has officially been fundraised is \$1,112,000. The amount in the bank is \$729,000. Sergeant shared an update on the progress occurring on the construction site. The east side of the park is nearly complete and has been working on some punch list items. The existing Aquatic Center has been sent to the Historical Preservation at the state level to get the approval to be torn down. The demolition is estimated to start in the next 20-30 days.

B. **Motion to Approve the Naming Rights Agreement by Neeley, seconded by Ladick. Motion passed by Roll Call 7-1, with Corridon opposing.**

Poock shared that several months ago, he had met with Larson Acres to share the vision and the project. Later, they had approached Poock with the anticipation of donating at least \$100,000, but would be interested in the naming rights of the park. If accepted, they would donate \$500,000 over the next 10 years. Kopp pointed out the change from the original 20 years, to permanent naming rights. There was also a change to rescind the naming rights would require unanimous vote, which

is more that is required by the current majority voting standards. Barnes confirmed that the naming rights are for the park only, the pool would still be available for naming rights.

12. Closed Session: **Motion to convene in closed session pursuant to section 19.85 (1) (e) of the Wisconsin statutes where discussion in open session would negatively impact the city's competitive or bargaining position and pursuant to Sec. 19.85(1)(g) of the Wis. Stats. Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. Upon completion, the Common Council will reconvene in open session. Motion by Brooks, seconded by Neeley. Motion passed by Roll Call 8-0 at 7:45pm.**

13. **Discussion and Possible Motion to Approve 2nd Amendment to Settler's Grove**

Motion to Approve the 2nd Amendment to Settler's Grove by Brooks, seconded by Neeley.

Berg is seeking a partnership with the City to gain help in covering the cost of the installation for Stormwater and Sewer. He feels that they would be unable to continue without a partnership. There was some additional discussion on what the partnership could offer the city. There was some discussion on the cost of homes and the lack of affordability for locals and families not coming from Madison area.

Brooks asked Berg if he would be open to additional discussions about how to work things out without a transference of money. Berg shared that this situation has been going on for three years and feels that there are no other options. Berg shared that if he doesn't have City help, he will not build. Sergeant asked Council if it would help to have some precise numbers on cost of coverts and potential assessment costs. Duggan also asked if it would be possible to get something more specific in the paths to move forward for options.

Motion to postpone the current motion until September 12th Common Council meeting by Brooks, seconded by Ladick. Motion passed by Roll Call 8-0.

14. **Introduction of New Ordinances**

- A. **First Reading of Ordinance 2023-08, an Ordinance Annexing 241.45 acres from the Town of Union to the City of Evansville.** Read by Brooks.
- B. **First Reading of Ordinance 2023-10, an Ordinance Rezoning Lands to I-2 Heavy Industrial.** Read by Brooks.
- C. **First Reading of Ordinance 2023-9 for a Comprehensive Plan Amendment.** Read by Brooks.

15. **Upcoming Meeting Reminder:**

- A. Regular Common Council Meeting, Tuesday September 12, 2023, at 6:00 p.m.
- B. Budget presentations: Thursday, September 21, 2023 6:00pm at City Hall

Budget Meeting changed to Tuesday, September 26, 2023 6:00pm at City Hall.

16. **Motion to Adjourn by Brooks, seconded by Neeley. Motion passed at 9:17pm**

*Respectfully Submitted,
Elle Natrop*

**City of Evansville Common Council
Special Meeting**
City Hall, 31 S Madison St, Evansville WI 53536
Thursday, August 17, 2023, 6:00 p.m.

MINUTES

1. **Call to order.** Mayor Duggan called the meeting to order at 6:00pm.
2. **Roll call:**

Members	Present/Absent	Others Present
Aldersperson, Abbey Barnes	P	Jason Sergeant, City Administrator
Aldersperson, Jim Brooks	P	Colette Spranger, Community Developer Director
Aldersperson, Ben Corridon	A	
Mayor, Dianne Duggan	P	
Aldersperson, Ben Ladick	P	
Aldersperson, Gene Lewis	P	
Aldersperson, Joy Morrison	P	
Aldersperson, Corey Neeley	P	
Aldersperson, Erika Stuart	A	

3. **Motion to approve the agenda by Brooks, seconded by Morrison. Motion passed 6-0.**
4. **Civility reminder:** Duggan noted the City's commitment to civility and decorum at Council Meetings.
5. **Citizen appearances other than agenda items listed.** None
6. Closed Session: **Motion to convene in closed session pursuant to section 19.85 (1) (e) of the Wisconsin statutes where discussion in open session would negatively impact the city's competitive or bargaining position and pursuant to Sec. 19.85(1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. Upon completion, the Common Council will reconvene in open session.**
Motion by Brooks, seconded by Neeley. Motion passed by Roll Call 6-0.
7. **Motion to Approve Resolution 2023-21 to Allocate ARPA Funds and Approve Real Estate Offer to Purchase by Brooks, seconded by Neeley. Motion passed by Roll Call 6-0.**
8. **Upcoming Meeting Reminder:**
 - A. Regular Common Council Meeting, Tuesday September 12, 2023, at 6:00 p.m.
 - B. Special Budget Meeting, Tuesday, September 26, 2023, at 6:00pm
9. **Motion to Adjourn by Brooks, seconded by Neeley. Motion passed at 6:40pm.**

City of Evansville Common Council
Special Meeting
City Hall, 31 S Madison St, Evansville WI 53536
Sunday, August 19, 2023, 8:00 p.m.

MINUTES

1. Call to order was made by Duggan at 8:00pm.
2. Roll call:

Members	Present/Absent	Others Present
Alderson, Abbey Barnes	P	Leah Hurtley, City Clerk
Alderson, Jim Brooks	P	Jason Sergeant, City Administrator
Alderson, Ben Corridon	P	
Mayor, Dianne Duggan	P	
Alderson, Ben Ladick	A	
Alderson, Gene Lewis	P	
Alderson, Joy Morrison	P	
Alderson, Corey Neeley	P	
Alderson, Erika Stuart	A	

3. *Motion to approve the agenda by Brooks, seconded by Morrison. Motion passed 6-0.*
4. Citizen appearances other than agenda items listed. None.
5. Closed Session: **Motion to convene in closed session pursuant to section 19.85 (1) (e) of the Wisconsin statutes where discussion in open session would negatively impact the city's competitive or bargaining position and pursuant to Sec. 19.85(1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session. Upon completion, the Common Council will not reconvene in open session, by Brooks, seconded by Neeley. Motion passed 6-0 by roll call vote.**

Leah Hurtley, Clerk



JANUARY 2023

**RETAIL ELECTRIC RATES
BENCHMARKING REPORT**

EVANSVILLE WATER & LIGHT

EVANSVILLE WATER & LIGHT

RETAIL RATES STRATEGY

Your utility currently has a rate proposal before the Public Service Commission of Wisconsin. Pending the outcome of that proceeding, the next time your utility makes additions or adjustments to its rate design strategy, you may wish to consider the following opportunities.

AREAS TO CONSIDER: Has the utility...?

Aligned its retail Power Cost Adjustment Charges for all power customers with the Power Cost Adjustment Charges on the utility's wholesale power bill?

Updated its customer charge?

Set 8AM-8PM as the only on-peak period for residential and general service optional time-of-day rates?

Eliminated the option to remain on a given commercial rate for an extra year after a customer no longer meets the criteria?

Implemented time-of-day rates with on-peak demand as the standard service for commercial (Cp-1) customers?

There are several rate updates that can be filed with the Public Service Commission (PSC) outside of a full rate case application: a coincident demand metering rider, a New Load Market Pricing rate, an electric vehicle charging rate, changing time-of-use periods for optional rates, and updates to customer-owned generation tariffs.

Other rate strategies require a full rate case, such as changing customer charges, changing the time-of-use periods for standard rates, removing language from rate tariffs, adding a standard time-of-day rate, changing the energy-usage thresholds for customers to qualify for particular rate classes, or adding seasonal components to rates.

Currently, the PSC has been authorizing rates of return between 4.9 and 6.5%.

If you are interested in pursuing any of these opportunities, please contact Director of Rates Tim Ament at 608-834-4530 or tament@wppienergy.org.

BENCHMARKING

RETAIL RATES

The WPPI membership’s business plan prioritizes rate strategies to help preserve and enhance the local value of public power utilities. Below is an overview of related retail rates topics for your utility and for the WPPI membership as a whole.

FOR ALL MEMBER UTILITIES

Has the utility...?	Evansville	All Members	Benefit
Completed a rate study within the past 5 years?	NO	36/51	A current rate study helps ensure that rates reflect current costs. Your utility’s last rate study was completed 9/1/12.
Put in place a Power Cost Adjustment Clause?	YES	47/51	Establishing a Power Cost Adjustment Clause ensures that the utility collects its actual monthly costs for purchased power.
Had its annual average Power Cost Adjustment Charges remain below 1.5¢?	YES	47/51	Keeping the Power Cost Adjustment Charge at or below 1.5¢ reduces subsidies between customers.
Aligned its retail Power Cost Adjustment Charges for large power customers with the Power Cost Adjustment Charges on the utility’s wholesale power bill?	YES	37/51	Aligning retail and wholesale Power Cost Adjustment Charges better recovers the utility’s cost of service, makes billing errors easier to detect, and enables the utility to establish seasonal rates.
Aligned its retail Power Cost Adjustment Charges for all power customers with the Power Cost Adjustment Charges on the utility’s wholesale power bill?	NO	20/51	Aligning retail and wholesale Power Cost Adjustment Charges better recovers the utility’s cost of service, makes billing errors easier to detect, and enables the utility to establish seasonal rates.
Updated its customer charge since 2015? Your utility’s fixed residential revenue compared to fixed costs:	NO 24.67%	WI avg: 39.25%	Updating fixed charges matches fixed revenue with fixed costs and reduces subsidies between customers.

FOR ALL MEMBER UTILITIES IN WISCONSIN

Has the utility ...?	Evansville	All Members	Benefit
<p>Received a rate of return that is equal to or greater than the current Public Service Commission-authorized rate of 4.9%?</p> <p>Your utility's 2021 rate of return:</p>	<p>NO</p> <p>1.07%</p>	16/41	Receiving a sufficient approved rate of return ensures that the utility can collect the revenue it needs.
Set 8AM-8PM as the only on-peak period for residential and general service optional time-of-day rates?	NO	36/41	Establishing a standard on-peak period for optional time-of-day rates simplifies tariff compliance and eliminates manual tracking.
Eliminated the option to remain on a given commercial (Cp) rate for an extra year after a customer no longer meets the criteria?	NO	23/41	Streamlining commercial (Cp) customer rate criteria simplifies tariff compliance and eliminates manual tracking.
Removed kilowatt-hour and load-factor criteria for general service rates?	YES	28/41	Clarifying general service customer rate criteria simplifies tariff compliance and eliminates manual tracking.
Added an energy limiter for commercial customers?	NO	23/41	Energy limiters for commercial service help protect customers from high costs due to unusually low load factors. They can also be a useful mechanism for DC fast chargers.
Updated its customer-owned generation (Pgs-1 and Pgs-2) rates?	NO	0/41	Updating rates for customer-owned generation ensures that the utility doesn't pay more for surplus generation than its avoided cost for wholesale power.

FOR ALL MEMBER UTILITIES WITH ADVANCED METERS

Has the utility ...?	Evansville	All Members	Benefit
Implemented a Demand Cost Adjustment and Energy Cost Adjustment (DCA/ECA) charge?	NO	6/51	Establishing a Demand Cost Adjustment/Energy Cost Adjustment charge ensures that the utility collects its actual monthly costs and reduces subsidies between customer classes.
Reduced its threshold (ex., to 20 kilowatts) for customers to receive commercial (Cp) service?	NO	3/51	Updating the criteria for customers to receive commercial (Cp) service provides a better price signal and better aligns fixed charges with fixed costs.
Implemented time-of-day rates with on-peak demand as the standard service for commercial (Cp-1) customers?	NO	11/51	Implementing standard time-of-day rates matches revenue recovery closer with costs, providing customers a better price signal.
Implemented simple seasonal energy rates for residential and general service customers? * Requires separate PCAC and PCAC alignment	NO	1/51	Seasonal residential and general service rates provide customers a better price signal by more closely matching retail rates to the utility's wholesale costs.
Implemented simple seasonal demand charges for commercial (Cp) customers? * Requires separate PCAC and PCAC alignment	NO	2/51	Seasonal demand charges for commercial (Cp) customers provide a better price signal by more closely matching retail rates to wholesale costs.
Implemented a coincident demand metering rider for large commercial (Cp-2, Cp-3 and Cp-4) customers?	NO	6/51	By combining coincident load on a contiguous property, a coincident demand metering rider can help protect large commercial customers from unnecessarily high demand charges.
Implemented a New Load Market Pricing (economic development) rate? * Requires interval data	YES	32/51	New Load Market Pricing rates encourage new industries to locate in the community and support growth for existing large customers.
Implemented an electric vehicle charging rate?	NO	1/51	Electric vehicle charging rates encourage customers to buy electric vehicles and to make more efficient use of the system by charging them at night.

CITY OF EVANSVILLE
ORDINANCE # 2023-08

AN ORDINANCE ANNEXING TERRITORY FROM THE TOWN OF UNION TO THE
CITY OF EVANSVILLE, WISCONSIN
(Parcels 6-20-219B, 6-20-318, 6-20-317-01, and 6-20-305,
generally located south of US Highway 14, west of Weary Road, east of County Highway M,
and north of the Union Pacific Railroad)

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Territory Annexed. In accordance with Sec. 66.0217(3)(a) of the Wisconsin Statutes and the Petition of Property Owners for Direct Annexation filed with the City Clerk on July 7, 2023, and the findings of the Common Council that such annexation is in the best interest of the City and all necessary notices having been given and the Department of Administration not stating the proposed annexation to be against public interest, and the plan commission having reviewed and recommended for approval the temporary zoning district classifications, the following described territory located in the Town of Union, Rock County, Wisconsin, with boundaries contiguous to the City as shown on the attached scale map, is hereby annexed to the City of Evansville, Rock County, Wisconsin, to wit:

Being part of the Northeast 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 35, and part of the Northeast 1/4, Southwest 1/4, Southeast 1/4 and Northeast 1/4 of the Southwest 1/4, and the Southwest 1/4 of the Southeast 1/4 of Section 25, and part of Northwest 1/4, Southwest 1/4, Southeast 1/4, and Northeast 1/4 of the Northwest 1/4, and the Northwest 1/4, and Southwest 1/4 of the Northeast 1/4, and the Northeast 1/4 of the Southwest 1/4, and the Northwest 1/4 of the Southeast 1/4 of Section 36, all in Township 4 North, Range 10 East, in the Town of Union, Rock County, Wisconsin, more particularly described as follows:

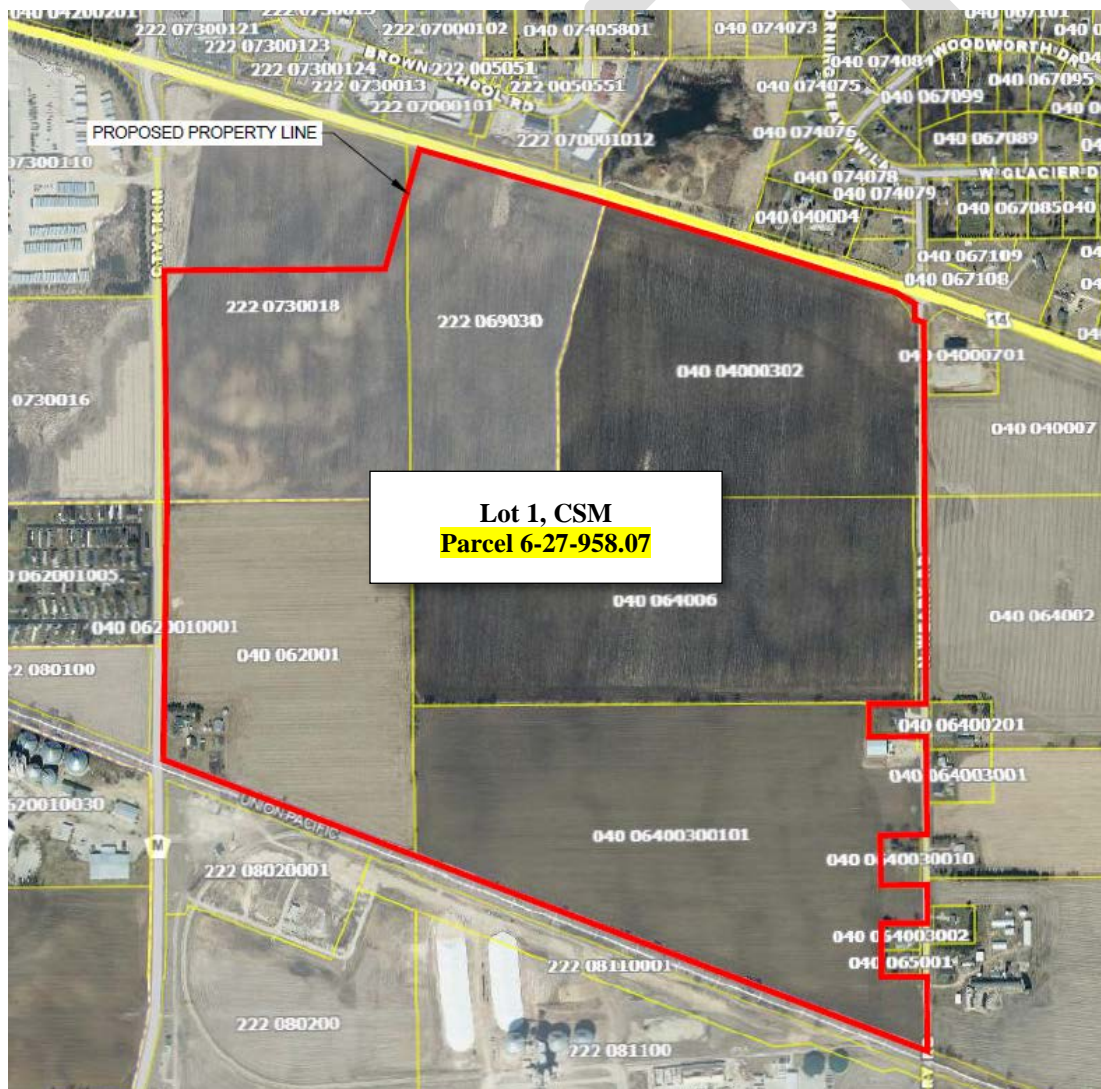
Beginning at the Southwest corner of the Southwest 1/4 of Section 25; thence North 89°37'04" East, along the South line of said Southwest 1/4, a distance of 764.96 feet; thence North 00°22'56" West, 667.28 feet; thence North 15°59'42" East, 910.64 feet so the Southerly Right of Way of U.S.H. "14"; thence the next 3 courses along said Southerly Right of Way; Thence South 73°04'38" East, 764.19 feet; Thence South 72°49'26" East, 810.96 feet; Thence South 59°09'18" East, 121.30 feet to the intersection of the Southerly Right of Way of U.S.H. "14" and North Weary Road; Thence South 00°37'46" East, along the Westerly Right of Way of said North Weary Road 82.77 feet; thence South 72°15'52" East, 34.76 feet to the Centerline of North Weary Road; thence South 00°42'02" East, along said centerline 912.28 feet to the South line of the Southeast 1/4 of Section 25; thence South 89°16'27" West, along said South line 47.19 feet to the South 1/4 Corner of said Section 25; Thence South 00°48'03" East, along the North / South Centerline of Section 36, a distance of 1077.57 feet to a point on the North line of Lot 1, of Certified Survey Map No. 20-88; thence South 88°58'16" West, along said North line 256.26 feet to the Northwest corner of said Lot 1; thence South 01°28'35" East, along the West line of said Lot 1, a distance of 170.00 feet to the Southeast corner of said Lot 1; thence North 88°58'20" East, along the South line of said Lot 1, a distance of 254.26 feet to the Center North / South line of said Section 36; thence South 00°48'03" East, along said North / South line, a distance of 78.13 feet; thence North 89°17'15" East, 42.52 feet to the Center line of North Weary Road; thence the next two courses along said Center line of North Weary Road; thence South 00°26'07" East, 275.00 feet; thence South 00°13'59" East, 157.95 feet; thence South 89°11'57" West, along the North line of CSM 39-5, a distance of 241.48 feet to the Northwest corner of said CSM 39-5; thence South 00°48'03" East, along the West line of said CSM 260.00 feet to the

CITY OF EVANSVILLE
ORDINANCE # 2023-10

An Ordinance Rezoning 311.49 acres of Territory from Agriculture (A) to Heavy Industrial (I-2)

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. Zoning Classification. In accordance with Section 130-171 to 130-176, Evansville Municipal Code, Section 62.23(7)(d)2 of the Wisconsin State Statutes and upon recommendation of the Plan Commission and the findings of the Common Council that such zoning district change is in the best interest of the City, and all necessary notices having been given, and the required public hearing having been held, and the Plan Commission having made its recommendation of approval in writing to the Common Council, the zoning classification of parcel **6-27-958.07 on County Highway M** is changed from Agricultural (A) to Heavy Industrial (I-2). The area to be rezoned is indicated on the maps below:



SECTION 2. Zoning Map Amendment. The official zoning map, City of Evansville, Wisconsin, is hereby amended to show the territory described in Section 1 as Heavy Industrial (I-2).

SECTION 3. Severability. If any provision of this Ordinance is invalid or unconstitutional, or if the application of the Ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this Ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION 4. Effective Date. This Ordinance shall take effect upon its passage and publication as provided by law.

Passed and adopted this 12th day of September, 2023

Dianne Duggan, Mayor

ATTEST:

Leah Hurtley, City Clerk

Introduced: 08/08/2023
Notices published: 07/12/2023 and 07/19/2023
Public hearing held: 08/01/2023
Adopted: 09/12/2023
Published: 09/20/2023

*Sponsors: This is an applicant-initiated ordinance.
Drafted on July 21, 2023 by Colette Spranger, Community Development Director*

**CITY OF EVANSVILLE
ORDINANCE 2023-09**

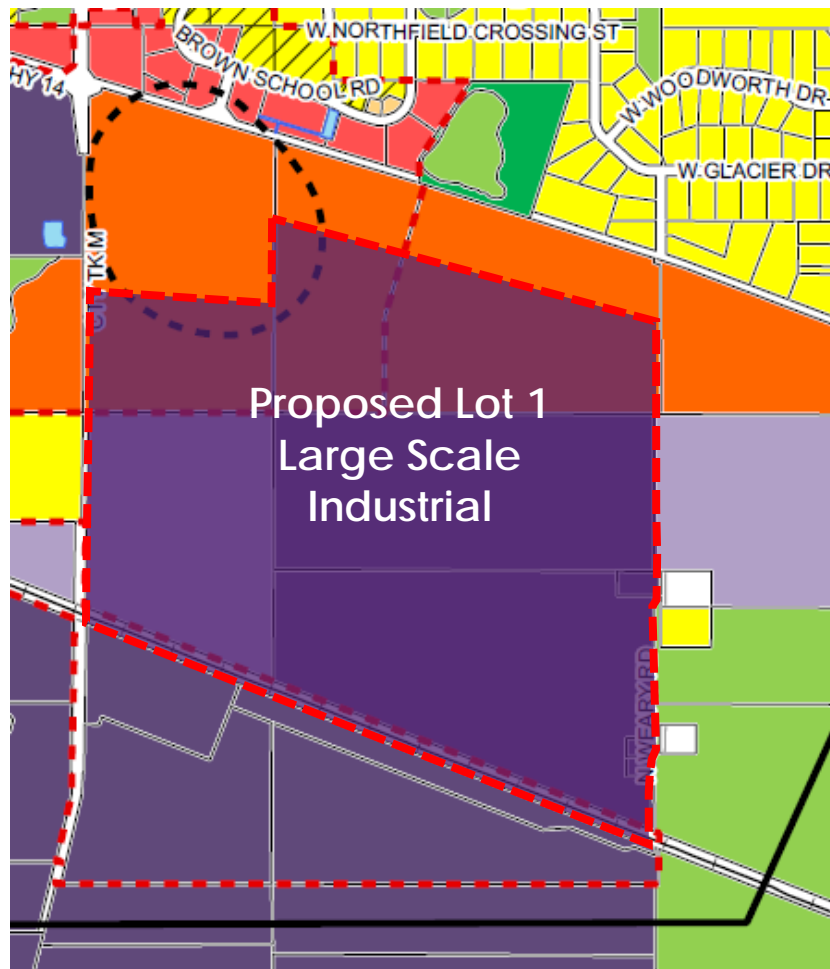
**AMENDING THE FUTURE LAND USE MAP OF THE SMART GROWTH
COMPREHENSIVE PLAN OF THE CITY OF EVANSVILLE, WISCONSIN IN RESPONSE
TO COMPREHENSIVE PLAN AMENDMENT APPLICATION 2023-0198**

The Common Council of the City of Evansville, Rock County, Wisconsin, do ordain as follows:

SECTION 1. The City of Evansville, Wisconsin, has adopted a comprehensive plan as defined in Sections 66.1001(1)(a) and 66.1001(2), Wis. Stats.

SECTION 2. CHS Oilseed Processing LLC has submitted applications to annex Town of Union lands and combine and adjust lot lines in the southeast of Evansville, generally located south of US Highway 14, west of Weary Road, north of the Union Pacific Railroad, and east of County Highway M.

SECTION 3. CHS Oilseed Processing LLC has submitted an application to change the future land use designation on sections of proposed Lot 1 in the City of Evansville from “Small Scale Industrial” and “Mixed Use” to “Large Scale Industrial.” to reflect the geographic area depicted below.



SECTION 4. The Plan Commission reviewed the applications described in Sections 2 and 3 on August 1, 2023 and, by unanimous vote of the entire commission, has recommended Ordinance 2023-08 and Ordinance 2023-09 be approved by Common Council with a condition that the city be allowed an easement for a future pedestrian walkway.

SECTION 5. The Evansville Plan Commission held a public hearing on August 1, 2023, in compliance with the requirements of Section 66.1001(d)(4), Wis. Stats., regarding the proposed amendment of the comprehensive plan.

SECTION 6. This amendment is consistent with the remaining sections of the city's adopted comprehensive plan.

SECTION 7. The Common Council hereby amends the comprehensive plan as described in Section 3.

SECTION 8. This ordinance is contingent on Common Council approval of Ordinance 2023-08 and Land Division Application 2023-0196.

SECTION 7. The city clerk/treasurer shall send a copy of this ordinance to neighboring jurisdictions and state agencies per Sections 66.1001 of Wis. Stats 10.

Passed and adopted this 12th day of September, 2023

Dianne Duggan, Mayor

ATTEST:

Leah Hurlley, Clerk

Introduced: 08/08/2023
Notices published: 07/12/2023 and 07/19/2023
Public hearing held: 08/01/2023
Adopted: 09/12/2023
Published: 09/20/2023

*Sponsors: This is an applicant-initiated ordinance.
Drafted on July 21, 2023 by Colette Spranger, Community Development Director
Edited on August 3, 2023 by Colette Spranger, Community Development Director
Edited on September 8, 2023 by Colette Spranger, Community Development Director*



APPLICATION FOR FINAL LAND DIVISION – STAFF REPORT

Application No.: LD-2023-0264 **Applicant:** RM Berg Construction

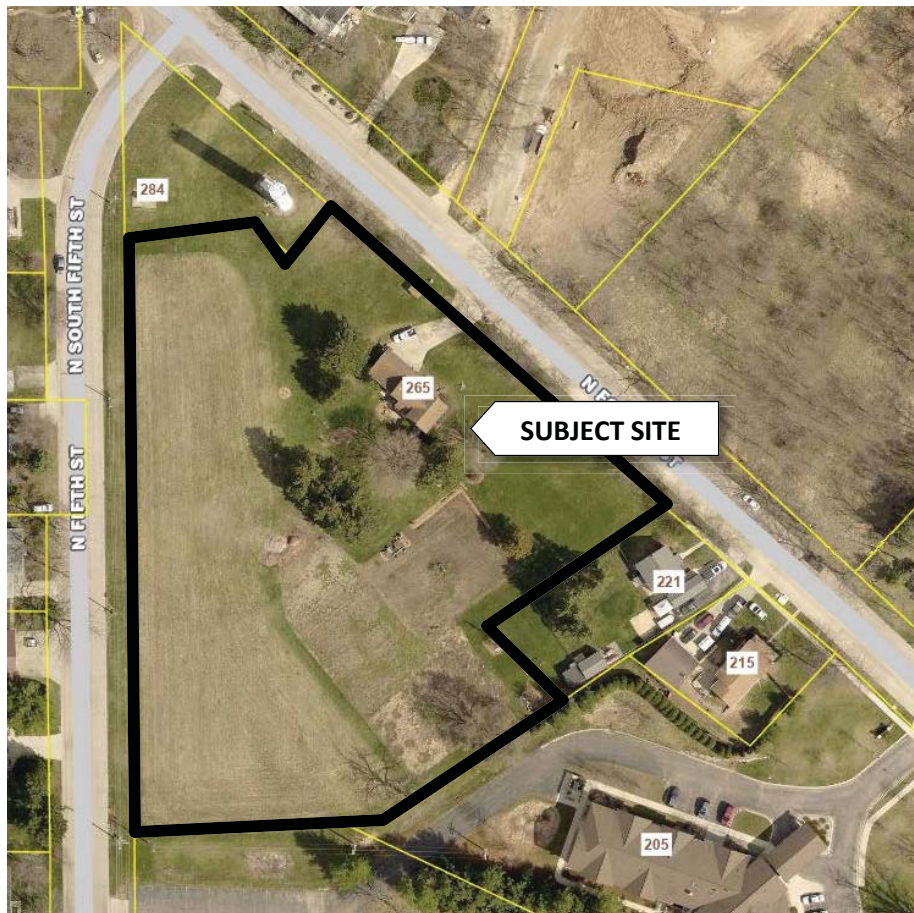
Parcel: 6-27- 930

Location: 265 N Fourth Street

For Common Council Review on: September 12, 2023

Prepared by: Colette Spranger Community Development Director

Direct questions and comments to: colette.spranger@ci.evansville.wi.gov or 608-882-2263



Description of request: An application for a final land division to create a final subdivision plat on parcel 6-27-930 has been submitted for consideration to Common Council. The request is to create a subdivision (Historic Standpipe Point) on land between the northern ends of Fifth and Fourth Street. A public hearing was held in May 2023. Common Council approved a preliminary plat in July. The applicant has met with City staff to discuss expectations for development in this area. A draft of the Final Plat is attached to this staff report. Minor revisions are being requested to the face of the plat

itself. The City Engineer is requesting updates to the drainage report and grading plan. A final version land divider's agreement is also on tonight's agenda.

Existing and Proposed Uses: The existing parcel is undeveloped. The residence at 265 N Fourth Street has been razed.

The proposed plat shows six single family residential lots along Fifth Street. These can remain in the current R-1 zoning. All the lots as presented comply with the bulk requirements of the R-1 zoning district.

Along Fourth Street there is one lot with a proposed zoning of B-1. This is a very versatile zoning district, which allows single-family homes by right and duplex, townhouse, multifamily, and other residential uses by conditional use. It is staff's understanding that the intention of this lot is for some sort of multifamily (non-single family) land use. Benefits of this zoning district include a prohibition on parking areas in the front setback areas for all principal buildings as well as architectural and landscaping design standards for residential buildings.

A public hearing was held at the May 2nd, 2023 Plan Commission meeting. There were concerns from several neighbors about the appropriateness of multifamily housing along Fourth Street. The land has a future land use designation of Mixed Use.

Municipal Services Committee reviewed the preliminary plat at its June 27nd, 2023 meeting. No major concerns were identified and the committee offered its recommendation for approval.

As a note – the Evansville Standpipe, the historic water tower that is listed on both the State and National Register of Historic Places – is located on City property and is outside this propose preliminary plat. It will not be affected by this development. The name of the subdivision plat is a nod to this historic landmark.

General Comments:

1. **Drainage Report Document and Grading Plan.** On-site stormwater will be handled by an outlot that will be dedicated to the public and managed by the City once improvements to the proposed bioretention pond are accepted by the City Engineer. As part of this review a letter from Town and Country Engineering has been included. The Engineer's suggestion for the drainage and grading plan have been incorporated into the developer's agreement.
2. **Development of Lot 7. The applicant intends to develop these into duplex units.** This will require rezoning, a site plan, and conditional use permit done through separate applications.

Consistency with the City of Evansville Comprehensive Plan and Municipal Code: The proposed land division is consistent with the Future Land Use Map of the

Comprehensive Plan. The proposal also complies substantially with the design standards and environmental considerations as set forth in the Land Division Ordinance.

Staff Recommended Motion: *Motion to approve the Final Plat for the Historic Standpipe Point subdivision, finding that is in the public interests and substantially complies with Division 3 of Chapter 110 of the Municipal Code, subject to the following conditions.*

- 1. Developer's letter of credit for \$50,000 is secured and approved by the City*
- 2. Development agreement is executed and signed by the City and Developer*
- 3. Subdivision construction drawings are approved by the City*
- 4. A rezoning application for Lot 7 is submitted to and approved by the City*
- 5. Applicant records a plat restriction, by adding suitable language to the face of the plat as approved by City Engineer, regarding prohibition of alterations of finished grades by more than six inches on utility easements and Stormwater drainage easements.*
- 6. Developer obtains signatures and records final plat with Rock County Register of Deeds.*

August 25, 2023

Ms. Colette Spranger
Community Development Director
City of Evansville
31 South Madison Street
Evansville, WI 53536

Subject: Historic Standpipe Point –Plat and Stormwater Review

Dear Colette:

We have completed our review of the Plat and Storm Water Management Report for a proposed residential development entitled Historic Standpipe Point. The development would include 6 residential lots, 1 lot with 3 duplexes, and an outlot for stormwater management and is located immediately south of the 5th Street/4th Street intersection.

The plat has been reviewed relative to the pertinent sections of the City's subdivision ordinance below, along with our comments, if any. Please note that there are other sections of the subdivision ordinance (lot size, park dedication, etc.) that are being reviewed by City staff and are not included here.

Plat Document

Section 110-83. – Attachments to preliminary application

We wanted to confirm that the three required attachments have already been submitted:

1. Environmental assessment checklist
2. List of development projects approved in the last 5 years and outstanding obligations
3. A preliminary developer's agreement

Section 110-101. Contents

This section requires a number of items that need to be added to the document:

1. 2-foot contours
2. Locations or proposed utility and drainage easements. There should at least be an access and stormwater easement through Lot 1 to connect Outlot 2 to 5th Street.

In addition to the ordinance language, we have several comments for City consideration relative to the items on the preliminary plat itself:

1. 10 foot drainage easements should be shown on all lots along all common lot lines. We have experienced several occasions where neighboring builders/property owners have modified grades after construction is complete and without those easements the City has no ability to require a resolution.
2. The US Post Office has been requiring new subdivisions to install communal mailbox locations. We recommend that those be placed within easements on private parcels, not outlots. This will eliminate any potential City involvement for future snow removal, site maintenance, or eventual repair/replacement for the boxes.

Drainage Report Document and Grading Plan

The site is approximately 3.3 acres in size, and is characterized as infill development. Because it is less than 5 acres, neither the City's peak flow rate nor infiltration standards will apply. Stormwater quality standards (TSS Removal) are proposed to be met via a bio-retention basin. It should be noted that the basin design also actually ends up meeting the City's 10-year and 100-year flow rate requirements regardless of the exemption.

We recommend the following updates to the plan:

-If the City is intended to take over Outlot 2 (and the associated bio-retention basin), we recommend that the basin be planted with plug plants at 18-inch spacing instead of the proposed seed mix. These areas can be difficult to establish, and plugs will improve the chances of a strong plant base.

-There may be a desire to have a paved driveway to Outlot 2. This would slightly change the TSS Removal requirements.

-The model assumes a small amount of disturbance. This should be expanded to include the entire front yards of the entire plat to reflect the need to construct sidewalks along 4th Street and 5th Street. The plans should also be updated accordingly to show said sidewalks.

We suggest these comments be combined with comments from other City staff reviews. To maintain the desired project timelines, the City may choose to simply make resolving these items conditions of an approval.

Please feel free to contact us with any questions.

Very truly yours,
TOWN & COUNTRY ENGINEERING, INC.

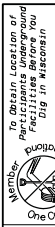
A handwritten signature in blue ink, appearing to read "Brian Berquist".

Brian R. Berquist, P.E.
President

cc: Mr. Jason Seargent, City of Evansville (*via email*)
Mr. Dale Roberts, City of Evansville (*via email*)
Mr. Roger Berg (*via email*)
Mr. Adam Griffin, Combs & Associates (*via email*)

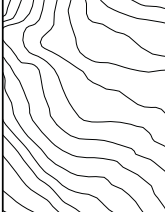
BRB:brb

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 To Obtain Installation of
 Facilities Before You
 Dig in Evansville
 CALL DIGGERS
 1-800-242-8511
 MIS Statute 182.075 (1974)
 Requires Min. 3 Work Days
 NOTICE BEFORE YOU EXCAVATE

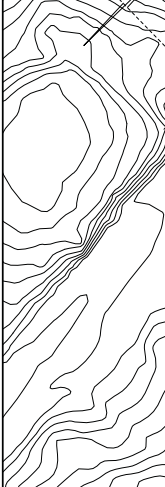
INDEX OF SHEETS
 1. COVER SHEET
 2. STORMWATER MANAGEMENT AREA
 3. EROSION CONTROL NOTES/DETAILS

LEGEND:
 EASEMENT LINE
 BUILDING SETBACK LINE
 SANITARY SEWER
 FUTURE SANITARY SEWER
 WATER MAIN
 FUTURE WATER MAIN
 FUTURE STORM SEWER
 FUTURE CURB
 PROPERTY LINE
 CONSTRUCTION LIMITS
 PROPOSED SULLY FENCE
 CENTER LINE
 BUILDING LINE
 AERIAL UTILITY WIRE(S)
 TELEPHONE LINE
 GAS LINE
 ELECTRIC LINE
 VISION EASEMENT
 DRAINAGE EASEMENT
 UTILITY EASEMENT
 CONSERVATION EASEMENT
 SANITARY SEWER EASEMENT
 DRAINAGE DIRECTION
 (SHADE TO DRAIN)
 MINIMUM FINISHED FLOOR ELEVATION

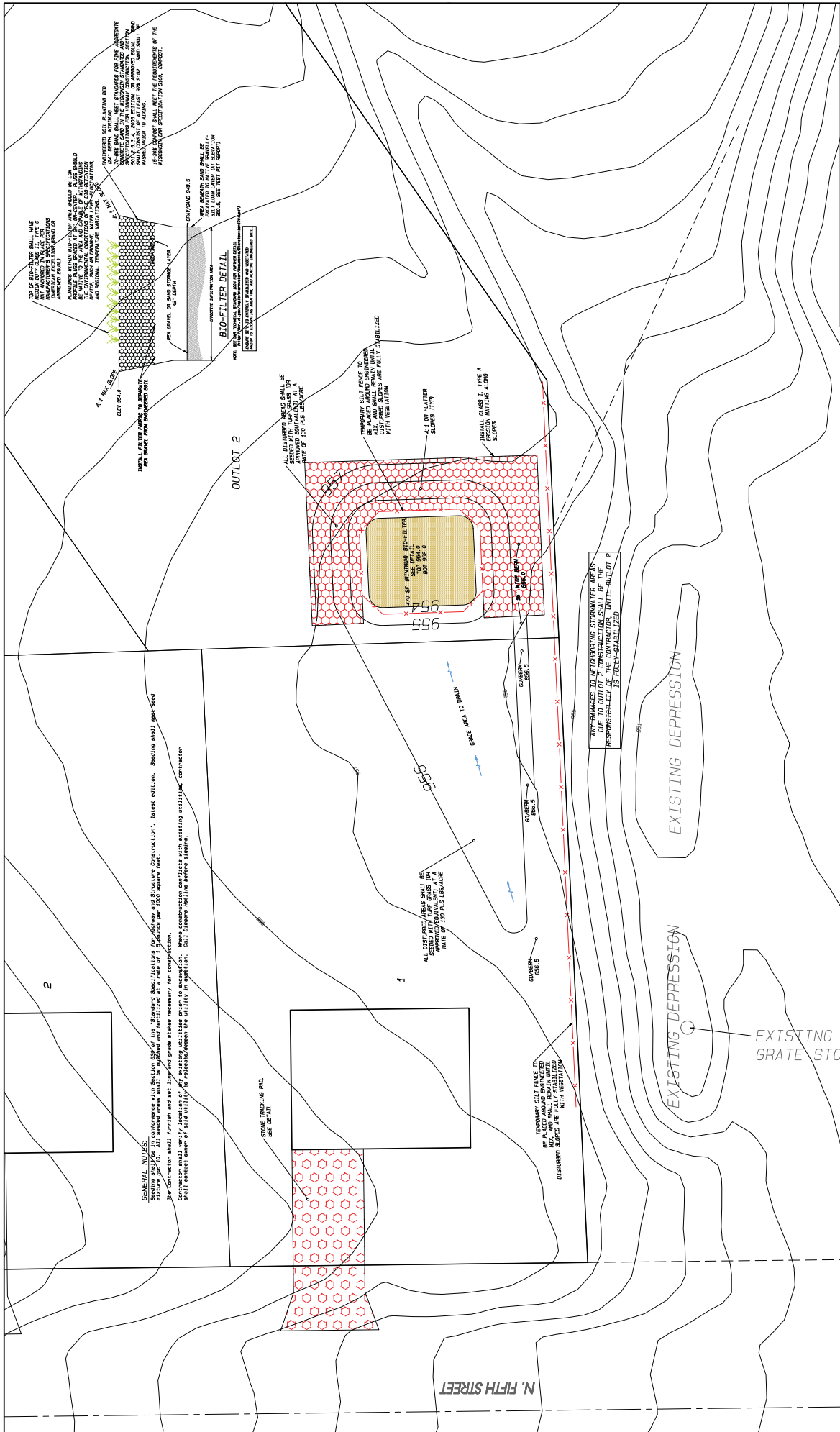


FOR CITY REVIEW
 STORMWATER MANAGEMENT PLAN
 FOR
HISTORIC STANDPIPE POINT
 A RESIDENTIAL SUBDIVISION
 PART OF OUTLOT 18, SHEET 6, PART 1 OF THE ASSessor'S PLAT OF
 EVANSVILLE, WISCONSIN AND BEING LOCATED IN THE NE 1/4 OF THE
 NE 1/4 AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28, T.4N., R.10E.,
 OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.

DATE: 09/11/23
 LAND SURVEYING: [Signature]
 LAND PLANNING: [Signature]
 CIVIL ENGINEERING: [Signature]
 PROJECT NO.: 123-055
 101 S. Milwaukee St.
 Evansville, WI 53120
 TEL: 800.782.2525
 FAX: 800.782.2524
 WWW.CS-COMBS.COM



SHEET 1 OF 3



TOP OF BIO-FILTER SHALL HAVE METRIC SAND (FINE SAND) WITH 10% FINES TO BE PLACED OVER THE BIO-FILTER MEDIA TO PREVENT ROOTS FROM PENETRATING THE MEDIA. THE SAND SHALL BE PLACED IN 1" LAYERS TO A MINIMUM DEPTH OF 12" OVER THE MEDIA. THE SAND SHALL BE PLACED IN 1" LAYERS TO A MINIMUM DEPTH OF 12" OVER THE MEDIA. THE SAND SHALL BE PLACED IN 1" LAYERS TO A MINIMUM DEPTH OF 12" OVER THE MEDIA.

AREA BETWEEN SAND TRAP AND BIO-FILTER SHALL BE GRAVELLED TO PREVENT ROOTS FROM PENETRATING THE MEDIA. THE GRAVEL SHALL BE PLACED IN 1" LAYERS TO A MINIMUM DEPTH OF 12" OVER THE MEDIA. THE GRAVEL SHALL BE PLACED IN 1" LAYERS TO A MINIMUM DEPTH OF 12" OVER THE MEDIA.

TEMPORARY SILT FENCE TO BE PLACED AROUND THE PERIMETER OF THE BIO-FILTER AND SAND TRAP. THE SILT FENCE SHALL BE FULLY STABILIZED WITH VEGETATION. THE SILT FENCE SHALL BE FULLY STABILIZED WITH VEGETATION.

ALL DISTURBED AREAS SHALL BE RESEED WITH TURF GRASS OR SEED AT THE RATE OF 150 P.L.S./A.C.R.E. AT THE RATE OF 150 P.L.S./A.C.R.E. AT THE RATE OF 150 P.L.S./A.C.R.E.

ANY DAMAGES TO NEIGHBORING STORMWATER AREAS DUE TO OUTFLOW OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGES TO NEIGHBORING STORMWATER AREAS DUE TO OUTFLOW OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

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CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION.

CONTRACTOR SHALL CONTACT UTILITY LOCATOR TO RELOCATE UTILITY IN SITUATION. CONTRACTOR SHALL CONTACT UTILITY LOCATOR TO RELOCATE UTILITY IN SITUATION.

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CONTRACTOR SHALL CONTACT UTILITY LOCATOR TO RELOCATE UTILITY IN SITUATION. CONTRACTOR SHALL CONTACT UTILITY LOCATOR TO RELOCATE UTILITY IN SITUATION.

	DATE	09/11/23
	PROJECT	AFG
	DATE	12/3-055
100 N. FIFTH STREET SUITE 200 DENVER, CO 80202	TEL: 303.732.2325 FAX: 303.732.2324 WWW.COMBS-ENG.COM	

GENERAL NOTES & DETAILS, STORMWATER MANAGEMENT AREA SHEET 2 OF 3

GENERAL BARRIAGE NOTES

1. THE STORM WATER DRAINAGE PREVENTION PLAN (SWMP) IS COMPOSED OF THIS DRAWING, THE EROSION CONTROL MEASURES REPORT AND RELATED DOCUMENTS.
2. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) AND THE STATE OF MICHIGAN DEPARTMENT OF NATURAL RESOURCES (DNR).
3. CONSTRUCTION SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP) AS REQUIRED BY THE SWMP OF THE PROJECT. BEST MANAGEMENT PRACTICES (BMP) SHALL BE IDENTIFIED BY THE SWMP OF THE PROJECT.
4. BEST MANAGEMENT PRACTICES AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REGULATIONS AND ORDINANCES.
5. THE SITE MUST BE CLEAR, DELINEATE ALL STATE WATER AND PERMITS FOR ANY CONSTRUCTION AT ALL TIMES.
6. CONSTRUCTION SHALL MAINTAIN CLEARING TO THE MAXIMUM EXTENT PRACTICABLE OR AS REQUIRED BY REGULATIONS AND ORDINANCES.
7. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE SWMP AND ALL OTHER PERMITS, ORDINANCES, AND REGULATIONS.
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MAINTENANCE

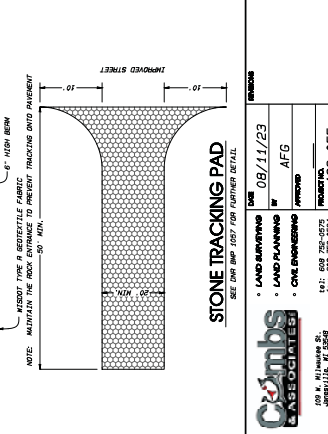
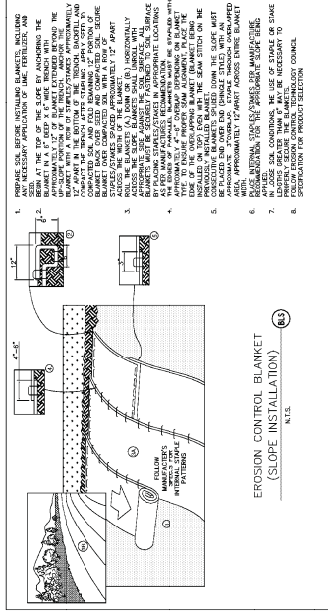
1. ALL MEASURES STATED IN THIS EROSION AND SEDIMENT CONTROL PLAN AND IN SWMP SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
2. ALL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
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18. ALL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
19. ALL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
20. ALL MEASURES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

CONSTRUCTION SEQUENCE

1. Install erosion tracking pad.
2. Establish a baseline and set up a survey.
3. Establish a baseline and set up a survey.
4. Establish a baseline and set up a survey.
5. Establish a baseline and set up a survey.
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16. Establish a baseline and set up a survey.
17. Establish a baseline and set up a survey.
18. Establish a baseline and set up a survey.
19. Establish a baseline and set up a survey.
20. Establish a baseline and set up a survey.

EROSION CONTROL PLAN NOTES

1. TO ENSURE THAT DISTURBED AREAS ARE NOT VULNERABLE TO EROSION OR LAND DISTURBANCE, THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
2. TO ENSURE THAT DISTURBED AREAS ARE NOT VULNERABLE TO EROSION OR LAND DISTURBANCE, THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
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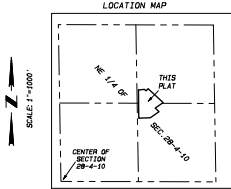
EROSION CONTROL BLANKET (SLOPE INSTALLATION) (SEE SHEET 0811/23 FOR FURTHER DETAILS)

STONE TRACKING PAD (SEE SHEET 123-055 FOR FURTHER DETAILS)

DATE	08/11/23
BY	AFG
REVISION	123-055
NO. 1	LAND SURVEYING
NO. 2	LAND PLANNING
NO. 3	ONE ENGINEERING
NO. 4	141 600 782-0235
NO. 5	141 600 782-0234
NO. 6	141 600 782-0233
NO. 7	141 600 782-0232
NO. 8	141 600 782-0231
NO. 9	141 600 782-0230
NO. 10	141 600 782-0229
NO. 11	141 600 782-0228
NO. 12	141 600 782-0227
NO. 13	141 600 782-0226
NO. 14	141 600 782-0225
NO. 15	141 600 782-0224
NO. 16	141 600 782-0223
NO. 17	141 600 782-0222
NO. 18	141 600 782-0221
NO. 19	141 600 782-0220
NO. 20	141 600 782-0219
NO. 21	141 600 782-0218
NO. 22	141 600 782-0217
NO. 23	141 600 782-0216
NO. 24	141 600 782-0215
NO. 25	141 600 782-0214
NO. 26	141 600 782-0213
NO. 27	141 600 782-0212
NO. 28	141 600 782-0211
NO. 29	141 600 782-0210
NO. 30	141 600 782-0209
NO. 31	141 600 782-0208
NO. 32	141 600 782-0207
NO. 33	141 600 782-0206
NO. 34	141 600 782-0205
NO. 35	141 600 782-0204
NO. 36	141 600 782-0203
NO. 37	141 600 782-0202
NO. 38	141 600 782-0201
NO. 39	141 600 782-0200
NO. 40	141 600 782-0199
NO. 41	141 600 782-0198
NO. 42	141 600 782-0197
NO. 43	141 600 782-0196
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NO. 95	141 600 782-0144
NO. 96	141 600 782-0143
NO. 97	141 600 782-0142
NO. 98	141 600 782-0141
NO. 99	141 600 782-0140
NO. 100	141 600 782-0139

HISTORIC STANDPIPE POINT

PART OF OUTLOT 16, SHEET 6, PART I OF THE ASSESSOR'S PLAT OF EVANSVILLE, WISCONSIN AND BEING LOCATED IN THE NE 1/4 OF THE NE 1/4 AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28, T. 4N., R. 10E., OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.

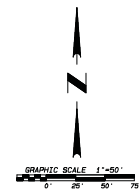
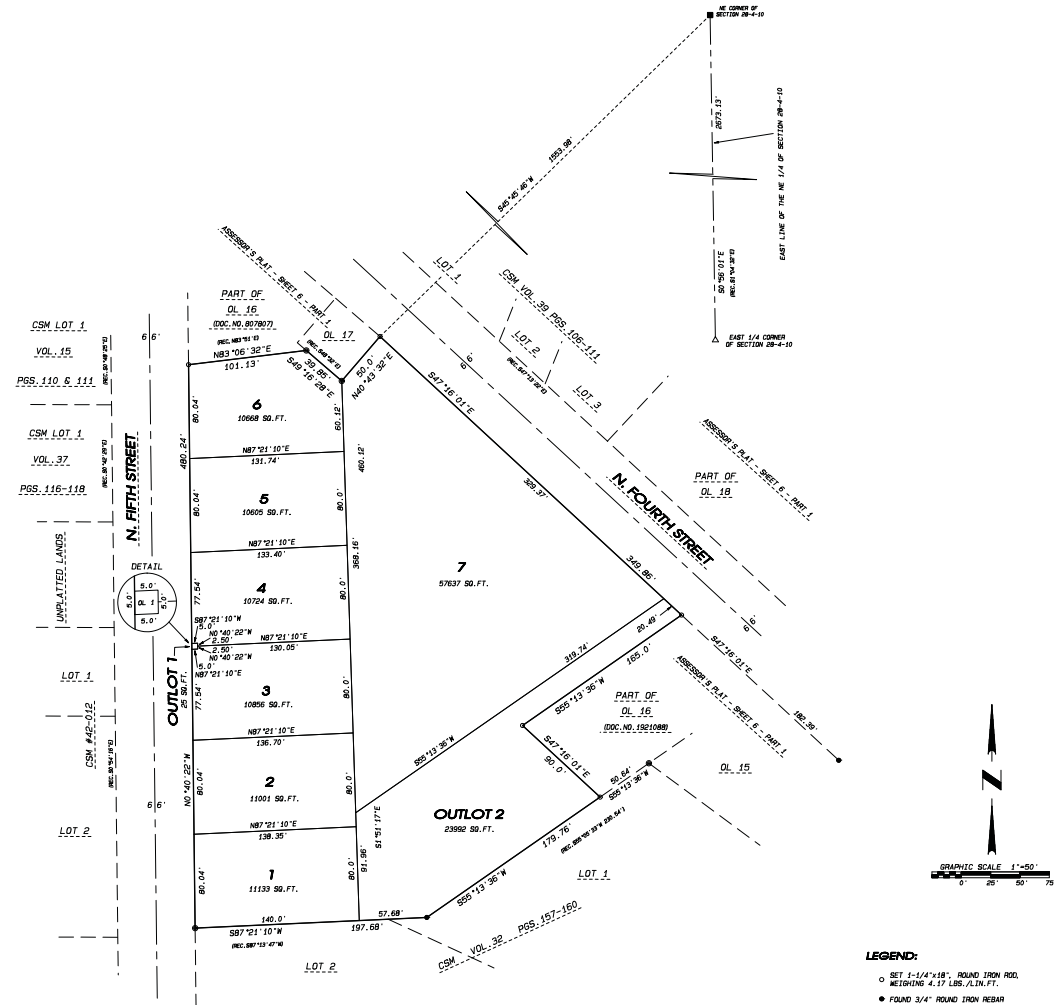


NOTE: ALL LINEAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDRETH OF A FOOT. ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

NOTE: UTILITY EASEMENTS AS SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE UTILITIES HAVING RIGHTS TO SERVE THE PLATTED AREA. THIS INCLUDES INSTALLATION OF WATER MAINS, STORM SEWER AND SANITARY SEWER IN THE EASEMENT AREAS.

NOTE: HISTORIC STANDPIPE POINT CREATES 7 LOTS AND 2 OUTLOTS FROM 3.37 ACRES.

NOTE: BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NE 1/4 OF SECTION 28-4-10, HAVING AN ASSUMED BEARING OF S0°56'01\".



- LEGEND:**
- SET 1-1/4" x 1/8" ROUND IRON ROD WEIGHING 4.17 LBS./LIN.FT.
 - FOUND 3/4" ROUND IRON REBAR
 - FOUND 1" ROUND IRON PIPE
 - FOUND COTTON GIN SPIKE
 - FOUND 6"x6" SQUARE STONE MONUMENT
- ALL OTHER LOT AND OUTLOT CORNERS ARE STAKED WITH 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 LBS./LIN.FT.
- UDC UTILITY EASEMENT & DRAINAGE EASEMENT

<p>100 W. HILLSBORO ST. JANESVILLE, WI 53504 www.combsurvey.com</p>	• LAND SURVEYING	DATE	06/28/2023	<p>PROJECT</p> <p>123-055</p> <p>CLIENT</p> <p>BERG</p>
	• LAND PLANNING	BY	sll	
	• CIVIL ENGINEERING	PROJECT NO.	123-055	
		DATE	06/28/2023	

HISTORIC STANDPIPE POINT

PART OF OUTLOT 16, SHEET 6, PART I OF THE ASSessor'S PLAT OF EVANSVILLE, WISCONSIN AND BEING LOCATED IN THE NE 1/4 OF THE NE 1/4 AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28, T. 40N., R. 10E., OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE
BY ROY M. COMBS, SURVEYOR
STATE OF WISCONSIN

I, Roy M. Combs, a professional land surveyor, hereby certify that I have surveyed, divided and marked HISTORIC STANDPIPE POINT, being a PART OF OUTLOT 16, SHEET 6, PART I OF THE ASSessor'S PLAT OF EVANSVILLE, WISCONSIN AND BEING LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28, T. 40N., R. 10E., OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN, and in the SE 1/4 OF SECTION 28, T. 40N., R. 10E., OF THE 4TH P.M., CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN, as follows: COMMENCING AT A CUT STONE MONUMENT AT THE NE CORNER OF SAID SECTION, THENCE S 45° 46' 30" E 145.3 99 FEET TO THE MOST WORTHERLY CORNER OF LANDS DESCRIBED HEREIN AS BEING THE SW CORNER OF SAID SECTION, THENCE S 45° 46' 30" E 145.3 99 FEET TO THE MOST WORTHERLY CORNER OF LANDS DESCRIBED HEREIN AS BEING THE SW CORNER OF SAID SECTION, THENCE S 47° 15' 01" E 347.65 FEET TO THE NORTH LINE OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 32, PAGES 157 THRU 160, A DISTANCE OF 175.76 FEET; THENCE S 87° 21' 10" W CONTINUING ALONG SAID NORTH LINE, 197.69 FEET TO THE EAST LINE OF N. FIFTH STREET; THENCE N 42° 22' 4" W ALONG SAID EAST LINE, 104.12 FEET TO THE SOUTH LINE OF SAID OUTLOT 17; THENCE S 45° 46' 30" E 145.3 99 FEET TO THE MOST SOUTHERLY CORNER OF SAID OUTLOT 17; THENCE N 43° 32' 50.0 FEET TO THE PLACE OF BEGINNING, CONTAINING 3.37 ACRES, more or less, as shown on a plat of SAID LANDS and as shown on a map of SAID LANDS which said map and plat have been duly filed for record and a certified copy thereof made, that I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Evansville, in surveying, dividing and mapping the same.

GIVEN UNDER MY HAND AND SEAL THIS 28TH DAY OF JUNE, 2023

CITY COUNCIL OF EVANSVILLE RESOLUTION

Whereas, the City Planning Commission of the City of Evansville has reported on the plat of HISTORIC STANDPIPE POINT.

It is resolved that the plat of HISTORIC STANDPIPE POINT be accepted and is hereby approved.

STATE OF WISCONSIN

SS.

I hereby certify that the foregoing is a copy of a resolution passed by the Common Council of the City of Evansville.

Date: _____ x _____
City Clerk

CITY OF EVANSVILLE TREASURER

I, _____, being the duly elected, qualified and acting City Treasurer of the City of Evansville, do hereby certify that in accordance with the records in my office there are no unpaid taxes or special assessments as of _____ on any land included in the plat of HISTORIC STANDPIPE POINT.

Date: _____
City Treasurer

OWNER'S CERTIFICATE

AS OWNER, AM BEING GENERAL CONTRACTOR INC. does hereby certify that it caused the land described on this plat to be surveyed, divided, mapped and marked as represented on the plat. AM BEING GENERAL CONTRACTOR INC does also certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Department of Administration; City of Evansville; Rock County Planning and Development Agency.

Witness the hand and seal of said owner this _____ day of _____, 20 ____.

x _____
Roger M. Berg

STATE OF WISCONSIN

SS.

Personally came before me this _____ day of _____, 20 ____ . Roger M. Berg to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My Commission Expires: _____ x _____
Notary Public.

RECORDING DATA

Received for record this _____ day of _____, 20 ____ at _____ o'clock _____ M. and recorded in Volume _____ of plats of Rock County on Pages _____.

Document No. _____
Rock County Register of Deeds

Combs & Associates
100 N. Lincoln St.
Evansville, WI 53122
TEL: 608.785.2525
WWW.COMBSANDASSOCIATES.WI.COM

DATE: 06/28/2023
LAND RECORDING # 611
OFFICE: 123-055
NAME: BERG

FINAL LAND DIVIDER’S AGREEMENT-HISTORIC STANDPIPE POINT

This Agreement made this _____ day of _____, between RM Berg General Contractor Inc. hereinafter collectively called the “Developer”, and the City of Evansville, a municipal corporation of the State of Wisconsin, located in Rock County, hereinafter called the “City”.

WHEREAS, Developer owns approximately 3.26 acres of land in the City of Evansville that is legally described in Appendix A.

WHEREAS, the above-described land is presently zoned R1.

WHEREAS, Developer desires to subdivide and develop the above-described land for residential purposes to be known as Historic Standpipe Point, hereinafter called the “Subdivision”, which will be zoned R1 and B1.

WHEREAS, on September 5, 2023, the City’s Plan Commission recommended to the City’s Common Council approval of a final plat for the Subdivision subject to certain conditions, and on September 12, 2023 the Common Council approved a final plat for the Subdivision subject to certain conditions.

WHEREAS, the Plan Commission and the Common Council have reviewed this final land divider’s agreement for the Subdivision.

WHEREAS, the parties believe it to be in their mutual best interest to enter a written final land divider’s agreement, hereinafter called the “Agreement”, which sets forth the terms of understanding concerning said Subdivision.

NOW, THEREFORE, in consideration of the recitals, the terms and conditions contained in this Agreement, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

ARTICLE I. Land; General Conditions

- A. Easements. Developer hereby grants a temporary easement over all areas not platted as public to the City for access and inspection during construction of the Public Improvements described in Article III.
- B. Park and Recreation Land Dedication. The developer’s obligation for the dedication of parkland will be based on the city parkland fee per lot in effect at the time of execution of this Agreement.
 - a. Parkland dedication fees for Lots 1-6 to be paid upon execution of this Agreement.

- b. Parkland dedication fees for Lot 7 to be calculated and paid upon conditional use permit and site plan approval for construction on that lot.

- C. Survey Monuments. Developer shall properly place and install all surveys or other monuments required by statute or ordinance prior to any particular phase being accepted. Internal survey monuments shall be installed after the Public Improvements described in Article III are completed.

- D. Deed Restrictions. Developer shall execute and record deed restrictions and this Agreement in a form that will be separately approved by the Common Council prior to the sale of any lots in the subdivision. Such restrictions shall include, but are not limited to, covenants as follows: that there shall be no further division or subdivision of lots unless in accordance with City ordinances; that there shall be no residential development on outlots without the consent of the City Plan Commission; and, that this final land divider's Agreement has been entered into between Developer and the City, a copy of which is on file in the City Clerk's office.

- E. Advertising Signs. Developer agrees that any temporary signs placed anywhere in the Subdivision to advertise the Subdivision shall comply with Article X of Chapter 130 of the Evansville Municipal Code.

- F. Construction Trailers. Small construction trailers may be located at the Subdivision on a temporary basis during the construction of the improvements described in Article III of this Agreement.

- G. Grading, Erosion, and Silt Control.
 - 1. Developer agrees to submit a plan for the maintenance and disposition of on-site topsoil.
 - 2. Prior to commencing site grading, Developer shall submit for approval by the City Engineer a grading plan. The plan shall provide sufficient control of the site to prevent siltation downstream from the site. Developer shall provide to the City Engineer written certification from the Developer's Engineer that the plan, in its execution, shall meet all federal, state, county, and local regulations, guidelines, specifications, laws, and ordinances, including provision for notification of land disturbance to the State of Wisconsin Department of Natural Resources.
 - 3. Developer shall immediately place effective erosion control procedures along downslope areas and alongside slope areas as required to prevent or reduce erosion where erosion during construction may result in a loss of soil to waters of the state, public sewer inlets or off-site. During the period of construction at a site, all erosion control procedures necessary to meet the performance standards of Wisconsin Administrative Code, including but not limited to, Commerce, Section 21.125, shall be properly implemented \, installed and maintained by Developer, building permit applicants, and the subsequent landowners. If erosion occurs after building

construction activities have ceased, some or all of the erosion control procedures shall be maintained by Developer until the site has been stabilized.

4. Developer shall restore all disturbed areas and re-grade any areas not allowing the flow of surface water as specified in the grading plan.
- H. Applicability. The requirements of this Article I apply to the construction and installation of sanitary sewers, water mains, private streets, electrical systems, landscaping and stormwater management facilities and shall remain in effect until the acceptance, by resolution adopted by the Common Council, of all Public Improvements required by this Agreement.
- I. Development Type and Density. Developer intends to construct or cause the construction of Single Family (Lots 1 through 6) and Two-Family (duplex) dwelling units (Lot 7, enabled through Conditional Use Permit and Site Plan).

ARTICLE II. Phases and Development.

- A. Construction of Public Improvements. Developer shall complete installation of the Public Improvements described in Article III in a single phase and install any Public Improvements which are not physically located within the plat but are necessary to serve the lots within it.
- B. Phases Identified. Phasing for the Subdivision shall be as a single phase.
- C. Timing. Developer may begin the installation of the Public Improvements described in Article III as soon as the Developer has:
 - a. Obtained all necessary approvals of the Plans and Specifications described in Article III; and,
 - b. has filed with the City Clerk all required documents, including but not limited to the irrevocable letter of credit referred in Article IV, Section C; and,
 - c. Construction drawings have been submitted and approved.

ARTICLE III. Public Improvements.

- A. Public Improvements. As used in this Agreement, the term “Public Improvements” shall mean the water distribution system, sanitary sewer system, sidewalks, surface water drainage system, electrical system, and landscaping described in this Article III to be dedicated to the City under Article V.
- B. Plans and specifications. Developer shall file with the City Clerk’s office, a complete set of the plans and specifications for the Public Improvements for the entire Subdivision, as approved by the City Engineer, hereinafter called “Plans and Specification”. Said Plans and Specifications are hereby made a part of this Agreement by reference, including standard specifications as the City may have adopted at the time of construction.
- C. Method of Improvements. Developer agrees to engage contractors for all Public Improvements included in this Agreement who are qualified to perform the work and who

shall be designated as qualified for such work by the City Engineer. The Developer shall have all such contractors execute an Agreement as to liability/indemnity and insurance pursuant to the format set forth in Appendix B to this Agreement and file executed document with the city. Developer further agrees to use materials and make the various installations in accordance with the approved Plans and Specifications.

D. Sidewalks. Developer shall construct, furnish, install, and provide five-foot wide concrete sidewalks on all lots in the subdivision and on the corner City Lot at 4th and 5th Streets within the public right-of-way. Sidewalks shall be completed on all lots once five (5) of six (6) lots receive occupancy permits.

E. Surface Water Drainage System.

1. Developer shall construct, install, furnish, and provide adequate facilities for storm and surface water drainage throughout the entire Subdivision. Improvements shall include, but are not limited to, piping, inlets, junction structures, and storm water appurtenances, storm and surface water drainage systems and agree to perform the grading plan all in accordance with the approved Plans and Specifications applicable federal and state regulations and local ordinances, regulations, and guidelines.
2. Developer shall maintain roads free from mud and dirt from construction of the Subdivision. Any mud or dirt remaining after 48 hours of initial deposit, shall be cleaned and removed by the City, with all costs and penalties billed to the developer.
3. The City will issue no building permit for any lot until the finished grading of the entire plat, including that lot, has been accepted by the City Building Inspector or Engineer. Finish grade shall be defined as spot elevations at lot corners, within six inches of final elevations. Topsoil installation to final elevation is required prior to occupancy permits being granted by the City Building Inspector or Engineer.
4. City shall retain rights to require Developer to install additional erosion control measures as needed in accordance with generally accepted engineering standards prior to acceptance by the City Building Inspector or Engineer of the storm and surface water drainage improvements.
5. City shall issue no occupancy permits for any lots until the storm water management features for that particular phase have been accepted by the City Building Inspector or Engineer.
6. Developer shall re-grade areas as directed by the City if Developer or contractors who grade individual lots do so in a way that interferes with the flow of surface water as specified in the grading plan.
7. Developer shall provide and guarantee the healthy establishment of vegetative cover planted within storm water basins, swales or green ways.
8. Additions to Drainage and Grading Plan (August 11, 2023)
 - a. Developer shall plant bio-retention basin on Outlot 1 with plug plants at 18-inch spacing

- b. Disturbed areas on model shall be expanded to include the entire front yards of the entire plat to reflect the need to construct sidewalks along 4th Street and 5th Street.
- c. Drainage and grading plan should also be updated accordingly to show said sidewalks.
- d. Developer and City are advised that a paved driveway constructed on Outlot 1 has the potential to change the TSS Removal requirements.

F. Electrical system.

- 1. Developer shall request an estimate for the cost of installing the electrical system from the Water and Light Superintendent at least 90 days in advance of the expected installation date.
- 2. Within ten (10) days of receiving the estimate from the utility, the Developer shall pay, in advance, the cost of installing the electrical system in the Subdivision. This includes but is not limited to the bases for transformers, but not including the transformers themselves.
- 3. In the event the utility's actual cost to install the electrical system is less than the estimate, the utility shall refund the difference to the Developer.
- 4. In the event the utility's actual cost to install the electrical system is greater than the estimate, the Developer shall pay the difference to the utility within thirty (30) days of billing.

G. Landscaping.

- 1. Developer shall remove and lawful dispose of all outbuildings, destroyed trees, bush, tree trunks, shrubs, and other natural growth and all leftover construction materials, construction debris and rubbish from the Subdivision after the completion of improvements in each phase. The Developer shall not bury any of the materials described in this paragraph in any portion of this Subdivision.
- 2. Developer shall require all purchasers of lots to plant, in accordance with City Code, two street trees per dwelling unit or one street tree every 40 to 60 feet, whichever is greater in the terrace. Trees shall be of a variety and caliper size approved by the City and planted no later than the fall or spring immediately following completion of the house on each lot. Developer shall plant any and all street trees required by this paragraph if any home purchasers of lots fail to do so in a timely fashion. The location of said planting shall be identified on construction drawings and approved by the City to assure that the plantings will not impact underground utilities.

- H. Correction of Defects. Developer shall correct defects due to faulty materials or workmanship in any Public Improvement which appear within a period of one (1) year from the date the letter of credit referenced in Article IV, Section C, is released, and shall pay for any damage to the City property resulting therefrom. The City may refuse to accept the Public Improvements unless and until they conform to generally accepted industry standards. This correction period does not affect or bar claims for negligence

discovered at a later date. Wisconsin law on negligence shall govern negligent workmanship.

I. Additional Improvements.

1. Developer agrees that if modifications to the Plans and Specifications including, but not limited to, additional drainage ways, erosion control measures and storm and surface water management facilities are necessary in the interest of public safety or are necessary for the implementation for the original intent of the Plans and Specifications, the City is authorized to order Developer, at Developer's sole expense, to implement the same, provided such order is made in writing to Developer not later than one year after the City's acceptance of the Public Improvements installed by Developer in the final phase of the Subdivision. Such modifications are deemed necessary if needed to conform to generally accepted engineering standards or change in any regulation, law, or code.
2. Developer shall identify the design and the location on private outlots or easements for USPS approved cluster mailbox facilities, and provide perpetual maintenance plans for said cluster mailbox facilities. No building permits shall be issued until USPS approval of mail delivery for the subdivision is submitted to the City. Costs to install and maintain mail delivery services to the subdivision are the responsibility of the Developer, shall never occur on public property, and will not be the responsibility of the City.
3. Developer shall develop all lots in the subdivision with dwelling units or residential structures that contain porches on the front façade.

ARTICLE IV. Obligation to Pay Costs.

- A. Reimbursement of Professional and Out-of-pocket Expenses. Developer agrees to reimburse the City for any costs due to the use of professional staff, including, but not limited to, City Engineer, City Planner, and City Attorney, in connection with this Agreement. Costs shall be based on invoices or actual out-of-pocket expenses incurred by the City with no overhead added by the City. Reimbursement shall occur prior to the plat being recorded.
- B. Developer's Obligation to Pay Costs. Developer agrees that it is obligated to construct, furnish, install, and provide all public improvements in the Subdivision or necessary for the Subdivision at its own expense or to pay the City's or municipal utility's costs of constructing, furnishing, installing, and providing such public improvements. If it is necessary to incur an additional cost not explicitly mentioned in this Agreement in order for Developer to be able to perform any obligation of the Developer under this Agreement, Developer agrees the Developer is obligated to pay such cost.
- C. Irrevocable Letters of Credit.
 1. For each phase or sub-phase, Developer shall file with the City Clerk (i) a letter

describing the plat that Developer intends to construct and (ii) an irrevocable letter of credit in favor of the City from a lending institution approved by the City in a form approved by the City in an amount sufficient, as determined by the City Engineer, to pay the costs the City would incur to complete all Public Improvements for the subdivision.

2. No construction of Public Improvements for a phase or sub-phase shall begin until Developer has filed with the City Clerk an irrevocable letter of credit that meets the requirements of the preceding paragraph.
 3. The City Engineer shall determine the amount of each irrevocable letter of credit based on the scope of the Public Improvements for the subdivision.
 4. The irrevocable letter of credit shall not expire until two (2) years from the date on which the irrevocable letter of credit is issued.
 5. Developer shall provide an extension of the duration of such irrevocable letter of credit, upon demand by the City, if not all of the Public Improvements for the subdivision have been completed and accepted prior to its expiration.
 6. Such irrevocable letter of credit shall stand as security for the reimbursement of costs the city expends under this agreement and for the completion of Public Improvements for the subdivision until the City accepts the Public Improvements for the subdivision pursuant to Article III.
 7. The lending institution providing the letter of credit shall pay to the City any draw upon demand, and upon its failure to do so, in whole or in part, the City shall be empowered in addition to its other remedies, without notice or hearing, to impose special assessments in the amount of said demand, or satisfaction cost, upon each and every lot in the subdivision payable in the next succeeding tax year.
 8. The City, in its sole discretion, shall permit the amount of each letter of credit to be reduced by an amount reasonably proportionate to the cost of the Public Improvements that are paid for by Developer and accepted by the City, provided that the remaining letter of credit is sufficient to secure payment for any remaining Public Improvements required, through the issuance of a letter from the City Administrator to the lending institution that issued such letter of credit agreeing to such reduction.
- D. City Costs. The City will be responsible for any development fees and costs applicable to City-owned land.

ARTICLE V. Issuance of Building Permits/Occupancy Permits.

- A. No building permits shall be issued by the City Building Inspector for any lot in the Subdivision until the Common Council has approved this Agreement and the final plat of the Subdivision.
- B. No building permits shall be issued by the City Building Inspector until the Developer has completed the installation of survey monuments.

- C. No occupancy permit shall be issued by the City Building Inspector for any lot until the final grade is complete and stormwater management practices serving such lots have been completed and accepted by the City Building Inspector.
- D. No occupancy permit shall be issued by the City Building Inspector for any lot until required street trees and sidewalks are installed or costs of such installations have been escrowed with the City Treasurer.
- E. No occupancy permit shall be issued by the City Building Inspector for any lot until all public improvements described in Article III have been completed and accepted by the City Building Inspector.
- F. The City reserves the right to withhold issuance of any and all building and/or occupancy permits if the Developer is in violation of this Agreement.

ARTICLE VI. Default and Remedies.

- A. Events of Default. As used in this Agreement, the term “Event of Default” shall include, but not be limited to any of the following:
 - 1. Failure by the Developer to pay the City any fees, charges or reimbursement required to be paid under this Agreement.
 - 2. Failure by the Developer to commence and complete the construction of any Public Improvements pursuant to the terms of this Agreement.
 - 3. Failure by the Developer to maintain an irrevocable letter of credit adequate to complete the Public Improvements pursuant to Article III.
 - 4. Failure by the Developer or the City to observe or perform or cause to be observed or performed any covenant, condition, obligation or agreement on its part to be observed or performed as set forth in this Agreement.
- B. Remedies on Default. Whenever any Event of Default occurs the non-defaulting party may suspend its performance under this Agreement and, upon thirty (30) days written notice of the right to cure such default, may pursue any legal or administrative action, including the authority to draw upon the irrevocable letter of credit described in Article IV, which appears necessary or desirable to compel the defaulting party to comply with this Agreement and/or to seek an award of monetary damages.
- B. No Remedy Exclusive. No remedy herein conferred upon or reserved to the City or the Developer is intended to be exclusive of any other available remedy or remedies, but each and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Agreement or now or hereafter existing at law or in equity or by statute. No delay or omission to exercise any right or power accruing upon any Event of Default shall impair any such right or power or shall be construed to be a waiver thereof, but any such right and power may be exercised from time to time and as often as may be deemed expedient. In order to entitle the City or the Developer to exercise any remedy reserved to it, it shall not be necessary to give notice, other than such notice in this Article VI.
- C. No Additional Waiver Implied by One Waiver. In the event that any agreement contained in

this Agreement should be breached by another party and thereafter waived by the other party, such waiver shall be limited to the particular breach so waived and shall not be deemed to waive any other concurrent, previous or subsequent breach hereunder.

ARTICLE VII. Dedication and Acceptance.

- A. Digital File of Final Plat. Developer shall furnish the City with a copy of the digital file of the drawing of the final plat, and the City may make any use it believes is appropriate of this file including, but not limited to, furnishing this file to the City Engineer and to Rock County to update digital parcel maps of the City.

- B. Statement of Costs. Developer shall furnish, within 60 days of City's request, the City with a statement of the total costs of Public Improvements in the Subdivision in each of the following categories: (1) streets (including signage) and sidewalks, (2) sanitary sewers and lift station, (3) water distribution system, (4) surface water drainage system, (5) electrical system, (6) landscaping, and, if requested to do so by the City, to furnish a statement of such information for each phase or sub-phase. This information is required for the City's accounting records and reports to state agencies such as the Public Service Commission.

- C. City Responsibility. The City shall perform no repairs or maintenance on the Public Improvements until accepted by the City. Trash and garbage removal service and snow removal will be provided by the City for each phase or sub-phase upon the issuance of the first occupancy permit in each such phase or sub-phase.

- D. Dedication. Developer shall, without charge to the City, upon completion by phases or sub-phases of all Public Improvements, unconditionally give, grant, convey and fully dedicate the same to the City, its successors and assigns, forever, free and clear of all encumbrances whatever, together with, all structures, mains, conduits, pipes, lines, equipment and appurtenances which may in any way be part of or pertain to such Public Improvements and together with any and all necessary easements for access thereto. After such dedication, the City shall have the right to connect or integrate other sewer or water facilities with those facilities provided hereunder as the City decides, with no payment or award to, or consent required of, Developer. Dedication by Developer shall not constitute acceptance of any improvements by the City; Developer shall be responsible for all maintenance of Public Improvements serving the phase or sub-phase until accepted by the City.

- E. Acceptance of Work.
 - 1. The Municipality shall provide a Resident Inspector, at the developer's sole expense, to inspect the underground Improvements required by this Agreement as they are constructed and upon completion for compliance with local and state codes. The City may, at its discretion, allow the Developer to provide a Resident Inspector that will perform the same function. The Resident Inspector shall certify to the Municipal Engineer that all underground improvements have been properly installed. The Municipal Engineer shall inspect the above ground Improvements, and if acceptable to the Municipal Engineer, the Municipal Engineer shall certify such underground and above ground Improvements as being in compliance with the standards and specifications of the Municipality. Such inspection and certification, if appropriate,

will occur as soon as possible upon written notice by the Developer to the Municipal Engineer that Developer desires to have the Municipality inspect an Improvement.

2. After the Developer has installed all required Improvements, the Developer shall notify the Municipal Engineer in writing that the work is complete and ready for final inspection. The Municipal Engineer shall inspect the Improvements and forward a letter to the Developer indicating his approval or disapproval. When the Improvements have been approved by the Municipal Engineer, the Municipal Administrator/Clerk (“Administrator”) shall prepare a final billing for any engineering, inspection, administrative, and legal fees remaining due and shall submit it to the Developer for payment. In addition, the Developer and all general contractors and subcontractors shall file lien waivers or affidavits in a form acceptable to the Municipality and approved by the Municipal Attorney, evidencing that there are no claims, actions or demands for damages, arising out of or in any way related to the project and that no moneys are owed to any surveyor, mechanic, subcontractor, materialmen or laborer. When the remaining engineering, inspection and legal fees have been paid and when the necessary lien waiver affidavits have been filed, and Municipality has been provided with proof that the covenants and restrictions for the plat have been recorded a Resolution accepting the Improvements constructed pursuant to this Development Agreement will be prepared and presented to the City Council for final approval. Upon approval of the Resolution, the Improvements will be accepted by the Municipality.
3. The sanitary sewer, water mains, and any respective service lateral shall not be accepted for a permitted phase until as built plans and a complete breakdown of all construction, engineering and administrative costs incurred by the Developer is submitted to the City. Further, the water system installation shall not be accepted until bacteriologically safe samples are obtained by a certified agency. The Developer shall be responsible for flushing the mains, obtaining the samples and have all tests completed as may be required for the Municipality’s acceptance.
4. Developer agrees to provide for maintenance and repair of all Improvements until such Improvements are formally accepted by the Municipality by Resolution of the City Council.
5. The Municipality will provide timely notice to the Developer whenever inspection discloses that an improvement does not conform to the standards and specifications shown on the Plans and Specifications or is otherwise defective. The Developer shall have 20 days from the issuance of such notice to correct the defect. The Municipality shall not declare a default under this Agreement during the 20 day correction period on account of any such defect unless it is clear the Developer does not intend to correct the defect or unless the Municipality determines that immediate action is required in order to remedy a situation which poses an imminent health or safety threat.
6. Prior to final acceptance, the Developer shall provide Municipality with as-built plans. As-built plans shall be provided in both an electronic format and in hard copy. As-built plans in electronic format and readable by AutoCAD must be provided showing all horizontal and vertical locations of public sanitary, water, and storm water utilities i.e. manholes, hydrants, water main bends and tee’s, valves, sanitary and water lateral curb boxes, inlets, endwalls, etc. All vertical information shall be on NAVD88

datum. The profile drawings must also show the diameter, length and slope of all pipes. In addition, Developer shall provide Municipality as-built-plans showing the finished surface elevations at all lot corners demonstrating positive drainage between lot corners, and also showing the finished surface elevation of all stormwater management ponds, swales and infiltration areas for the Phase in question. The horizontal location of all water and sewer services shall be located as follows:

- i. Sewer laterals shall be located by the distance to the sewer ‘wye’ from the downstream manhole.
 - ii. The ends of stubbed sewer laterals for future connection shall be located and the elevations determined and shown.
 - iii. Water laterals shall be located by the distance from the nearest hydrant or valve on the main (whichever is closest) to the corporation stop.
 - iv. The distance to the curb stop from the main shall also be provided.
7. Any bends in the water main shall be indicated by the length from the nearest main-line valve. For mapping purposes, a single electronic point file of the entire development describing the as-built surface features of the new sanitary sewer, water system and storm sewer system, i.e. manholes, hydrants, water main bends, lateral curb boxes, valves, inlets, endwalls, etc., on the Rock County Coordinate system must be provided. This point file must include; northing, easting, elevation (NAVD88), and a point description. The Municipal Engineer can obtain the electronic file for the surface features, at the Developer’s cost, when requested by either the Municipality or the Developer, provided that the Developer locates these features in the field. The Municipal Engineer will update all applicable Municipal maps and computer water and stormwater models. The cost of updating of Municipal maps and computer water and stormwater models to incorporate this development shall be borne by the Developer.
8. All sanitary sewer mains shall be televised in accordance with the Municipality’s standard specifications. A colored digital recording of the televising as well as a written report of the location of laterals and lengths of pipe shall be provided to the Municipality before final acceptance of the sewer.

ARTICLE VIII. Miscellaneous.

- A. Captions. Any captions of the several parts of this Agreement are inserted for convenience of reference only and shall be disregarded in constructing or interpreting any of its provisions.
- B. Severability. If any term of this Agreement shall, for any reason and to any extent, be invalid or unenforceable, the remaining terms shall be in full force and effect.
- C. Entire Agreement. This Agreement contains all of the terms, promises, covenants, conditions and representations made or entered into by or between City and Developer and supersedes all prior discussions and Agreements whether written or oral between the parties. This Agreement constitutes the sole and entire Agreement between City and

Developer and may not be modified or amended unless set forth in writing and executed by City and Developer with the formalities hereof.

- D. Status of City. Nothing herein shall be deemed to create or establish the City as a copartner or joint venturer with Developer in the design, construction, ownership or operation of the Subdivision; nor shall the City be entitled to proceeds or revenues derived from the ownership or operation of the Subdivision.
- E. Good Faith. Any actions taken pursuant to this Agreement will be measured by an implied covenant of good faith and fair dealing.
- F. Ordinances and Municipal Code. All provisions of the City's ordinances and Municipal Code are incorporated herein by reference, and all such provisions shall bind the parties hereto and be part of this Agreement as fully as if set forth at length herein. This Agreement and all work and the Public Improvements herein shall be performed and carried out in strict accordance with and subject to the provisions of said ordinances.
- G. Acknowledgement from Lot Purchasers. Developer agrees to deliver the purchaser of any lot within the Subdivision, before closing, a copy of Appendix C and agrees to obtain from each lot purchaser, at or before closing of the purchaser's lot, acknowledgement of the receipt of a notice in the form attached hereto as Appendix C, and Developer shall provide a copy of such acknowledgement to the City.
- H. General Indemnity. In addition to, and not to the exclusion or prejudice of, any provisions of this Agreement, or documents incorporated herein by reference, Developer shall indemnify and save harmless the City, its trustees, officers, agents, independent contractors, and employees, and shall defend the same from and against any and all liability, claims, losses, damages, interests, action, suits, judgment, costs, expense, attorney fees, and the like to whomever owned and by whomever brought or maintained which may in any manner result from or arise in the cause of, out of, or as a result of the following non-inclusive acts or omissions of Developer:
 - 1. Negligent performance of this Agreement.
 - 2. Negligent construction or operation of improvements covered under this Agreement.
 - 3. Violation of any law or ordinance.
 - 4. The infringement of any patent trademark, trade name or copyright.
 - 5. Use of public street improvements prior to their dedication and formal acceptance by the City.
 - 6. In any case where judgment is recovered against the City for any one or more of the foregoing acts or omissions of Developer, within ten (10) days after the City has been served with the same, the judgment shall be binding upon the Developer and not only as to the amount of damages, but also as its liability to the City, provided such judgment has become final and all rights of appeal have been exhausted, or if no appeal has been filed, all appeal periods have expired.
 - 7. Developer shall name as additional insured on its general liability insurance the City, its trustees, officers, agents, employees and independent contractors hired by the City (including without limitation the City Engineer) to perform services upon request by the City.

- 8. Developer shall furnish a completed Appendix B prior to start of construction by any entity retained by or used by the Developer to fulfill the Developer's obligations under the Agreement.

- I. Heirs and Assigns. The Agreement is binding upon the Developer, owners, guarantors, their respective heirs, successors and assigns, and any and all future owners of the subject lands.

- J. No Assignment. Developer shall not assign its rights under this Agreement without the written consent of the City.

- K. Amendments. The City and Developer, by mutual consent, may amend this Agreement at any regularly scheduled meeting of the City's Common Council, if properly noticed pursuant to the open meeting law. The Common Council shall not, however, consent to an amendment until after first having received a recommendation from the City's Plan Commission.

- L. Notice. All notices, demands or consents provided for in this Agreement shall be in writing and shall be delivered to the parties hereto by hand or by United States mail. All such communication shall be addressed at the following, or other such address as wither may specify to the other in writing:

To Developer:
R.M. Berg General Contractor Inc.
5 Maple St.
Evansville, WI 53536

To City:
Evansville City Administrator
31 S. Madison St.
PO Box 529
Evansville, WI 53536

- M. Binding Effect. This Agreement shall be permanent and run with the property described in Appendix A, and the rights granted and responsibilities assumed thereby shall insure to, and be binding upon, the parties, their heirs, successors and assigns. Developer's obligations under this Agreement cannot be assigned without prior consent of City; such consent shall not be unreasonably withheld.

R.M.Berg General Contractor Inc.

_____ Date: _____
(Print name and title)

The obligations of the Developer stated above in this Final Land Divider's Agreement are hereby personally guaranteed by the undersigned, who state they fully understand and accept the responsibilities of the Subdivider.

_____ (seal)
Roger Berg

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the date stated.

CITY OF EVANSVILLE

_____ Date: _____
Mayor

_____ Date: _____
City Clerk

APPENDIX A

Property Description

PART OF OUTLOT 16. SHEET 6, PART I OF THE ASSESSOR'S PLAT OF EVANSVILLE, WISCONSIN AND BEING LOCATED IN THE NE 1/4 OF THE NE 1/4 AND IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28, T. 4N., R. 10E. OF THE 4TH P. M.. CITY OF EVANSVILLE, ROCK COUNTY, WISCONSIN. DESCRIBED AS FOLLOWS: COMMENCING AT A CUT STONE MONUMENT AT THE NE CORNER OF SAID

SECTION; THENCE S45°45'45"W 1,553.98 FEET TO THE MOST EASTERLY CORNER OF OUTLOT 17. SHEET 6, PART I OF THE ASSESSOR'S PLAT OF EVANSVILLE.

ALSO BEING AT THE PLACE OF BEGINNING FOR THE LAND TO BE HEREIN DESCRIBED: THENCE S47°15'01"E ALONG THE SW LINE OF N. FOURTH STREET, 349.86 FEET TO THE MOST NORTHERLY CORNER OF LANDS DESCRIBED ON DOCUMENT NO.1921088: THENCE S55°13'36"W 165.0 FEET TO THE MOST WESTERLY CORNER OF SAID LANDS; THENCE S47°16'01"E 90.0 FEET TO THE MOST SOUTHERLY CORNER OF SAID LANDS; THENCE S55°13'35"W ALONG THE NORTH LINE OF A CERTIFIED SURVEY MAP RECORDED IN VOLUME 32, PAGES 157 THRU 160, A DISTANCE OF 179. 76 FEET; THENCE S87°21'10"W CONTINUING ALONG SAID NORTH LINE 197.68 FEET TO THE EAST LINE OF N. FIFTH STREET: THENCE N40'22" ALONG SAID EAST LINE 480.24 FEET TO THE SOUTH LINE OF A PARCEL DESCRIBED ON DOCUMENT NO.807807; THENCE N83°05'32"E ALONG SAID SOUTH LINE, 101.13 FEET TO THE SW LINE OF SAID OUTLOT 17; THENCE S49°15'28"E ALONG SAID SW LINE. 39.85 FEET TO THE MOST SOUTHERLY CORNER OF SAID OUTLOT 17;THENCE N40°43 '32"E 50.0 FEET TO THE PLACE OF BEGINNING.

Containing 3. 37 Acres.

APPENDIX B

Agreement as to Liability, Indemnity and Insurance

1. FOR VALUABLE CONSIDERATION, _____ (CONTRACTOR), hereinafter referred to as "Contractor," acknowledges that the work to be

performed for construction of improvements (the “Work”) in the Historic Standpipe Point plat located in the City of Evansville, hereinafter referred to as “City,” will be conducted in accordance with the latest edition of the project plans, specifications, and Municipal Codes as reviewed by the City Engineer and as approved by the City and any other agencies having jurisdiction and on file in the City Clerk’s office.

2 CONTRACTOR shall purchase and maintain such liability and other insurance as is appropriate for the Work being performed and furnished and will provide protection from claims set forth below which may arise out of or result from CONTRACTOR’s performance furnishing of the Work and CONTRACTOR’s other obligations under the Contract Documents, for the Work whether it is to be performed or furnished by CONTRACTOR, any Subcontractor or Supplier, or by anyone directly or indirectly employed by any of them to perform or furnish any of the Work, or by anyone for whose acts any of them may be liable.

- A. Claims under worker’s compensation, disability benefits and other similar employee benefits acts;
- B. Claims for damages because of bodily injury, occupational sickness or disease, or death of CONTRACTOR’s employees;
- C. Claims for damages because of bodily injury, sickness, or disease, or death of any person other than CONTRACTOR’s employees;
- D. Claims for damages insured by customary personal injury liability coverage which are sustained: (1) by any person as a result of an offense directly or indirectly related to the employment of such person by CONTRACTOR, or (2) by any other person for any other reason;
- E. Claims for damages, other than the Work itself, because of injury to or destruction of tangible property wherever located, including loss of use resulting therefrom; and
- F. Claims for damages because of bodily injury or death or any person or property damage arising out of the ownership, maintenance or use of any motor vehicle.

The policies of insurance so required by this paragraph 2 to be purchased and maintained by CONTRACTOR shall include by endorsement as additional insureds (subject to any customary exclusion in respect of professional liability) the City and City

Engineer and include coverage for the respective officers and employees of all such additional insureds. A certificate of insurance shall be provided to the City along with the endorsements listed above. Failure to procure adequate insurance shall not relieve the CONTRACTOR of its obligation under this Indemnity/Hold Harmless Agreement.

3. Indemnification. To the fullest extent permitted by laws and regulations, CONTRACTOR shall indemnify and hold harmless the City and the City Engineer, and the officers, directors and employees, agents and other consultants of each and any of them from

and against all claims, costs, losses and damages (including, but not limited to all fees and charges for engineers, architects, attorneys and other professionals and all court or arbitration or other dispute, resolution costs) caused by, arising out of or resulting from the performance of the Work, provided that any such claims, cost, loss or damage: (i) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, and (ii) is caused in whole or in part by any negligent act or omission of CONTRACTOR, any Subcontractor, any Supplier, any person or organization directly or indirectly employed by any of them to perform or furnish any of the Work or anyone for whose acts any of them may be liable regardless of whether or not caused in part by any negligence or omission of a person or entity indemnification hereunder or whether liability is imposed upon such indemnified party by Laws and Regulations regardless of the negligence of any such person or entity.

4. In any and all claims against the City or the City Engineer or any of their respective consultants, agents, officers, directors or employees by any employee (or the survivor or personal representative of such employee) of CONTRACTOR, any Subcontractor, any Supplier, any person or organization directly or indirectly employed by any of them to perform or furnish any of the Work, or anyone for whose acts any of them may be liable, the indemnification obligation under paragraph 3 shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for CONTRACTOR or any such Subcontractor, Supplier or other person or organization under worker’s compensation acts, disability benefit acts or other employee benefit acts.

5. The indemnification obligations of CONTRACTOR under paragraph 3 shall not extend to that portion of liability of the City Engineer, and its officers, directors, employees or agents caused by the professional negligence, errors, or omissions of any of them.

6. CONTRACTOR further understands and agrees that the City, its officers, agents, employees and the City Engineer are not responsible for the CONTRACTOR’s means and methods of construction and that the CONTRACTOR has the sole responsibility and liability for project safety.

Dated: _____

(print name of CONTRACTOR), a Wisconsin Corporation

By: _____

(print name and title)

By: _____
_____, Secretary
(print name)

APPENDIX C

The undersigned purchaser of Lot(s)_____ in Historic Standpipe Point hereby acknowledges that the City of Evansville will not issue a building permit/occupancy permit until the following conditions have been met:

- A. No building permits shall be issued by the City of Evansville for any lot in the subdivision until the common council has approved the Final Land Divider’s Agreement between Developer and City, The city has approved the final plat of the subdivision, the developer has paid in full all sums that are required to be paid within 10 days of approval of the Agreement by the Common Council, the City Clerk/Treasurer has signed the final plat, and the final plat has been recorded.
- B. No building permits shall be issued by the City for any lot on a street until the sidewalk has been completed and preliminarily accepted by the City.
- C. Builder shall maintain roads free of mud and dirt during construction in the Subdivision. Any mud or dirt remaining after 48 hours of deposit may be cleaned and removed by the city or the developer with all costs and penalties billed to the builder.
- D. Builder shall remove and lawfully dispose of all leftover construction debris/materials/rubbish from each lot and construction site. Burying materials described in this paragraph anywhere within the Subdivision is strictly prohibited and the builder may be required to remedy such action or be subject to fines and/or penalties as deemed fair to cover city or developer costs to do so.
- E. Builder will ensure their excavation contractor final grades their lot(s) in a manner such that it will not interfere with the flow of surface water as specified in the grading plan.

The undersigned purchaser acknowledges that there will be restrictions on the minimum elevations of the lowest opening of the foundation and waterproofing or pumping may be necessary to protect structures from groundwater. Lowest opening and top of the foundation will be shown on the final plat.

The undersigned purchaser acknowledges that this APPENDIX C shall be delivered to the person or entity initially occupying the dwelling on the lot if the undersigned purchaser is anyone other than the person or entity initially occupying the dwelling.

Acknowledged by:

Date:

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
01-1000130	UTILITY CASH CLEARING	922872	DAVE & EVELYN HALL	REFUND SOLAR CREDIT	2023 REFUN	08/10/2023	850.00	50832	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	JAMES & PATRICIA O'BRIE	REFUND SOLAR CREDIT	2023 REFUN	08/10/2023	1,000.00	50843	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	VERN FELSKE	UTILITY REFUND	2023 REFUN	08/24/2023	3.65	50968	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	ROGER BERG	UTILITY REFUND	2023 REFUN	08/24/2023	32.83	50973	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	DALE & DANICA JEFFERS	UTILITY REFUND	2023 REFUN	08/24/2023	233.96	50922	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	RM BERG GENERAL CONT	UTILITY REFUND	2023 REFUN	08/24/2023	72.26	50958	.00	0	
01-1000130	UTILITY CASH CLEARING	922872	JASON LISKA	UTILITY REFUND	2023 REFUN	08/24/2023	207.21	50932	.00	0	
Total 011000130:							2,399.91		.00		
10-2127500	REIMBURSABLE DEV COSTS	1885	CONSIGNY LAW FIRM SC	ATTY FEES-COMMUNITY PLANNING	9831-70-823	08/24/2023	330.00	50918	.00	0	
10-2127500	REIMBURSABLE DEV COSTS	4990	TOWN & COUNTRY ENGIN	2023 SETTLER'S GROVE SUPPORT	25601	08/24/2023	400.00	50965	.00	0	
10-2127500	REIMBURSABLE DEV COSTS	4990	TOWN & COUNTRY ENGIN	PROJECT ORANGE REVIEW	25616	08/24/2023	862.50	50965	.00	0	
10-2127500	REIMBURSABLE DEV COSTS	9133	FORSTER ELECTRICAL E	E02-23C PROJECT ORANGE	24742	08/24/2023	8,191.40	50926	.00	0	
Total 102127500:							9,783.90		.00		
10-2131100	FEDERAL W/H TAX DEDUCTIO	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT FEDERAL WITHHOLDING TAX Pay Period: 7/28/2023	PR0728231	08/10/2023	11,196.39	20132098	.00	0	
10-2131100	FEDERAL W/H TAX DEDUCTIO	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT FEDERAL WITHHOLDING TAX Pay Period: 8/11/2023	PR0811231	08/24/2023	10,483.60	20132106	.00	0	
Total 102131100:							21,679.99		.00		
10-2131200	STATE W/H TAX DEDUCTION	5550	WI DEPT OF REVENUE-EF	SWT STATE WITHHOLDING TAX Pay Period: 7/28/2023	PR0728231	08/10/2023	4,959.49	20132101	.00	0	
10-2131200	STATE W/H TAX DEDUCTION	5550	WI DEPT OF REVENUE-EF	SWT STATE WITHHOLDING TAX Pay Period: 8/11/2023	PR0811231	08/24/2023	4,725.94	20132109	.00	0	
Total 102131200:							9,685.43		.00		
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - FAMILY (PRE TAX) Pay Period: 7/14/2023	PR0714231	08/24/2023	25,536.00	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - SINGLE (PRE TAX) Pay Period: 7/14/2023	PR0714231	08/24/2023	314.44	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - SINGLE (PRE TAX) Pay Period: 7/14/2023	PR0714231	08/24/2023	2,812.24	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - FAMILY (PRE TAX) Pay Period: 7/14/2023	PR0714231	08/24/2023	3,715.40	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP RETIREE HEALTH CARE PAYMENTS Pay Period: 7/28/2023	PR0728231	08/24/2023	2,025.50	20132110	.00	0	

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10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - SINGLE (PRE TAX) Pay Period: 7/28/2023	PR0728231	08/24/2023	314.44	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - SINGLE (PRE TAX) Pay Period: 7/28/2023	PR0728231	08/24/2023	2,812.24	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - FAMILY (PRE TAX) Pay Period: 7/28/2023	PR0728231	08/24/2023	3,715.40	20132110	.00	0	
10-2132110	HEALTH INSURANCE	1997	WI DEPT-EMPLOYEE TRU	HEALTH INS DED/EXP HEALTH INS - FAMILY (PRE TAX) Pay Period: 7/28/2023	PR0728231	08/24/2023	25,536.00	20132110	.00	0	
Total 102132110:							66,781.66		.00		
10-2132120	DENTAL INSURANCE	1998	DELTA DENTAL OF WISCO	DENTAL INS DED/EXP DENTAL INSURANCE Employer Pay Period: 7/28/2023	PR0728231	08/24/2023	4,108.60	50923	.00	0	
Total 102132120:							4,108.60		.00		
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS ELECTED Pay Period: 6/30/2023	PR0630230	08/24/2023	67.81	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS GENERAL Pay Period: 6/30/2023	PR0630230	08/24/2023	5,296.50	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS GENERAL Pay Period: 6/30/2023	PR0630230	08/24/2023	5,296.50	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS PROTECTED UNION Pay Period: 6/30/2023	PR0630230	08/24/2023	2,294.56	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS PROTECTED UNION Pay Period: 6/30/2023	PR0630230	08/24/2023	4,460.88	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS ELECTED Pay Period: 6/30/2023	PR0630230	08/24/2023	67.81	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS PROTECTED UNION Pay Period: 7/14/2023	PR0714230	08/24/2023	4,598.02	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS GENERAL Pay Period: 7/14/2023	PR0714230	08/24/2023	5,365.58	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS GENERAL Pay Period: 7/14/2023	PR0714230	08/24/2023	5,365.58	20132113	.00	0	
10-2132130	RETIREMENT PAYABLE	5610	WISCONSIN RETIREMENT	WIS RETIRE EXP WRS PROTECTED UNION Pay Period: 7/14/2023	PR0714230	08/24/2023	2,365.09	20132113	.00	0	
Total 102132130:							35,178.33		.00		
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 7/28/2023	PR0728231	08/10/2023	8,395.36	20132098	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 7/28/2023	PR0728231	08/10/2023	7,741.65	20132098	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 7/28/2023	PR0728231	08/10/2023	1,810.57	20132098	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 7/28/2023	PR0728231	08/10/2023	1,810.57	20132098	.00	0	

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10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 8/11/2023	PR0811231	08/24/2023	7,838.17	20132106	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 8/11/2023	PR0811231	08/24/2023	7,140.51	20132106	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 8/11/2023	PR0811231	08/24/2023	1,669.97	20132106	.00	0	
10-2133100	FICA DEDUCTIONS	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 8/11/2023	PR0811231	08/24/2023	1,669.97	20132106	.00	0	
Total 102133100:							38,076.77		.00		
10-2134300	LIFE INS DEDUCTION	3515	SECURIAN FINANCIAL GR	LIFE INS DED/EXP LIFE INSURANCE Pay Period: 7/28/2023	PR0728233	08/24/2023	452.39	50960	.00	0	
10-2134300	LIFE INS DEDUCTION	3515	SECURIAN FINANCIAL GR	LIFE INS DED/EXP LIFE INSURANCE Pay Period: 7/28/2023	PR0728233	08/24/2023	917.59	50960	.00	0	
10-2134300	LIFE INS DEDUCTION	3515	SECURIAN FINANCIAL GR	ADJUSTMENT	PR0728233	08/24/2023	19.00	50960	.00	0	
10-2134300	LIFE INS DEDUCTION	3515	SECURIAN FINANCIAL GR	ADJUSTMENT	PR0728233	08/24/2023	11.76	50960	.00	0	
10-2134300	LIFE INS DEDUCTION	3515	SECURIAN FINANCIAL GR	ADJUSTMENT	PR0728233	08/24/2023	.01	50960	.00	0	
Total 102134300:							1,400.75		.00		
10-2136100	UNION DUES DEDUCTIONS	5603	WI PROFESSIONAL POLIC	UNION DUES POLICE UNION DUES-POLICE Pay Period: 7/28/2023	PR0728231	08/10/2023	344.00	50866	.00	0	
Total 102136100:							344.00		.00		
10-2137000	PAYROLL DEDUCTION MISC	5708	WI SCTF	CHILD SUPPORT DED CHILD SUPPORT Pay Period: 7/28/2023	PR0728232	08/10/2023	693.43	20132102	.00	0	
10-2137000	PAYROLL DEDUCTION MISC	5708	WI SCTF	CHILD SUPPORT DED CHILD SUPPORT Pay Period: 8/11/2023	PR0811232	08/24/2023	693.43	20132111	.00	0	
Total 102137000:							1,386.86		.00		
10-2138000	ICMA RETIREMENT CORP DEF	2849	SECURITY BENEFIT LIFE I	DEF COMP-SBG DEFERRED COMP - SBG-% OF AMT Pay Period: 7/28/2023	PR0728231	08/10/2023	1,555.45	20132099	.00	0	
10-2138000	ICMA RETIREMENT CORP DEF	2849	SECURITY BENEFIT	POLICE/VIBA DEFERRED - SBG - AMOUNT Pay Period: 8/11/2023	PR0811230	08/24/2023	350.00	20132107	.00	0	
10-2138000	ICMA RETIREMENT CORP DEF	2849	SECURITY BENEFIT LIFE I	DEF COMP-SBG DEFERRED COMP - SBG-% OF AMT Pay Period: 8/11/2023	PR0811231	08/24/2023	1,533.46	20132108	.00	0	
10-2138000	ICMA RETIREMENT CORP DEF	2855	MISSION SQUARE RETIRE	DEF COMP DED DEFERRED COMP - ICMA - AMOUNT Pay Period: 7/28/2023	PR0728231	08/10/2023	250.00	50848	.00	0	
10-2138000	ICMA RETIREMENT CORP DEF	2855	MISSION SQUARE RETIRE	DEF COMP DED DEFERRED COMP - ICMA - AMOUNT Pay Period: 8/11/2023	PR0811231	08/24/2023	250.00	50941	.00	0	
Total 102138000:							3,938.91		.00		
10-2140000	AFLAC ACC INS DEDUCTION	1065	AFLAC	ACC/MED/CCARE DED AFLAC ACCIDENT INSURANCE Pay Period: 7/28/2023	PR0728231	08/24/2023	12.42	20132104	.00	0	

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10-2140000	AFLAC ACC INS DEDUCTION	1065	AFLAC	ACC/MED/CCARE DED AFLAC ACCIDENT INSURANCE Pay Period: 8/11/2023	PR0811231	08/24/2023	12.42	20132104	.00	0	
Total 102140000:							24.84		.00		
10-2141000	AFLAC MED INS DEDUCTIONS	1065	AFLAC	ACC/MED/CCARE DED AFLAC MEDICAL Pay Period: 7/28/2023	PR0728231	08/24/2023	28.28	20132104	.00	0	
10-2141000	AFLAC MED INS DEDUCTIONS	1065	AFLAC	ACC/MED/CCARE DED AFLAC Pay Period: 8/11/2023	PR0811231	08/24/2023	28.27	20132104	.00	0	
Total 102141000:							56.55		.00		
10-44122-510	MISC LICENSES (SUNDRY)	922884	ERIK SHARP	REFUND YARD WASTE PERMIT	REFUND WA	08/01/2023	100.00	50783	.00	0	
Total 1044122510:							100.00		.00		
10-44123-510	VEHICLE REGISTRATION FEE	922896	CAROLYN SPERRY	REFUND FOR PLATE RENEWAL CHARGE	2023 REFUN	08/24/2023	11.00	50913	.00	0	
Total 1044123510:							11.00		.00		
10-45110-520	COURT PENALTIES & COSTS	4700	ST OF WIS CONTROLLER'	COURT FINES/ASSESS-	2023-07	08/10/2023	1,894.82	50859	.00	0	
Total 1045110520:							1,894.82		.00		
10-46722-550	PARK SHELTER RENTAL REVE	922885	ROSE KIMBERLY	REFUND PARK SHELTER	REFUND PA	08/01/2023	45.00	50806	.00	0	
Total 1046722550:							45.00		.00		
10-46750-550	SWIMMING POOL REVENUE	922898	CAROL LOCKARD	REFUND SWIMMING LESSONS	2023 REFUN	08/24/2023	37.50	50912	.00	0	
Total 1046750550:							37.50		.00		
10-46751-550	TAXABLE SWIMMING POOL R	922891	Amy Beamont	REIMBURSEMENT FOR SWIM PASSES	2023-08	08/10/2023	150.00	50822	.00	0	
Total 1046751550:							150.00		.00		
10-51010-300	COUNCIL EXPENSES & SUPPL	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	11.99	50929	.00	0	
10-51010-300	COUNCIL EXPENSES & SUPPL	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	34.52	50929	.00	0	
10-51010-300	COUNCIL EXPENSES & SUPPL	4430	SCHWAAB INC	ENGRAVED NAME PLATES	8370948	08/01/2023	75.00	50809	.00	0	
10-51010-300	COUNCIL EXPENSES & SUPPL	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	172.32	20132100	.00	0	
10-51010-300	COUNCIL EXPENSES & SUPPL	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	3.54	50855	.00	0	

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10-51010-300	COUNCIL EXPENSES & SUPPL	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.93	50854	.00	0	
Total 1051010300:							298.30		.00		
10-51020-300	MAYOR EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.02	50929	.00	0	
10-51020-300	MAYOR EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	.05	50929	.00	0	
10-51020-300	MAYOR EXPENSES	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	28.72	20132100	.00	0	
Total 1051020300:							28.79		.00		
10-51030-281	MUNI COURT FINES/ASSESS	5160	CITY OF EVANSVILLE	NSF FEE FOR HOLLY CARSTENSEN	COURT NSF	08/10/2023	25.00	50828	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	4320	ROCK COUNTY TREASUR	COURT FINES/ASSESS-JULY	2023-07 CO	08/10/2023	377.60	50856	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	4320	ROCK COUNTY TREASUR	COURT FINES/ASSESS-JULY	2023-07 CO	08/10/2023	94.70	50856	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	1681	CASEY'S BUSINESS MAST	RESTITUTION	2023-07 CO	08/10/2023	38.98	50826	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	1681	CASEY'S BUSINESS MAST	RESTITUTION	2023-07 CO	08/10/2023	23.48	50826	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	922628	KAETHER, MAX	REDIRECTED RESTITUTION	2023-07	08/10/2023	20.00	50845	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	922876	MICHAEL RUHLAND	REFUND - OVERPAYMENT	2023 OVERP	08/10/2023	9.00	50847	.00	0	
10-51030-281	MUNI COURT FINES/ASSESS	922876	ALYSSA GROVER	REFUND - OVERPAYMENT	2023 OVERP	08/10/2023	313.00	50821	.00	0	
Total 1051030281:							901.76		.00		
10-51030-300	MUNICIPAL COURT EXPENSE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	1.21	50929	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	3.49	50929	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	9017	US BANK	ZOOM. US	6004-0703	08/10/2023	15.99	20132100	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	9017	US BANK	TONER CARTRIDGE REPLACEMENT	6004-0708	08/10/2023	66.19	20132100	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	28.72	20132100	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	11.02	50905	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	4.71	50855	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	1.24	50854	.00	0	
10-51030-300	MUNICIPAL COURT EXPENSE	922895	ACI PAYMENTS INC	OPAY PLATFORM GENERAL RETURN ACH CT	1000097057	08/24/2023	4.00	50899	.00	0	
Total 1051030300:							136.57		.00		
10-51040-210	LEGAL SERVICES	1885	CONSIGNY LAW FIRM SC	ATTY FEES-GENERAL FUND VERIZON WATER TOWER LEASE	9831-70-823	08/24/2023	115.50	50918	.00	0	
10-51040-210	LEGAL SERVICES	1885	CONSIGNY LAW FIRM SC	ATTY FEES-GENERAL FUND CONFER HILLS	9831-70-823	08/24/2023	907.50	50918	.00	0	
10-51040-210	LEGAL SERVICES	1885	CONSIGNY LAW FIRM SC	ATTY FEES-GENERAL FUND	9831-70-823	08/24/2023	933.70	50918	.00	0	
Total 1051040210:							1,956.70		.00		
10-51040-215	LEGAL SERVICES MUNI COUR	1885	CONSIGNY LAW FIRM SC	ATTY FEES-COURT	9831-01-082	08/24/2023	625.50	50918	.00	0	

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10-51040-215	LEGAL SERVICES MUNI COUR	1885	CONSIGNY LAW FIRM SC	ATTY FEES-CIRCUIT COURT APPEAL	9831-71-082	08/24/2023	82.50	50918	.00	0	
Total 1051040215:							708.00		.00		
10-51090-210	ACCOUNTING/AUDITING	2151	EHLERS PUBLIC FINANCE	2023 FINANCIAL MANAGEMENT PLAN	94693	08/24/2023	11,000.00	50924	.00	0	
10-51090-210	ACCOUNTING/AUDITING	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	5,050.00	50983	.00	0	
Total 1051090210:							16,050.00		.00		
10-51100-210	ASSESSOR SERVICES	1220	ASSOCIATED APPRAISAL	INTERNET POSTING OF PARCELS BY ASSESSMENT TECHNOLOGIES	169576	08/10/2023	43.20	50825	.00	0	
10-51100-210	ASSESSOR SERVICES	1220	ASSOCIATED APPRAISAL	PROFESSIONAL SERVICES-AUG	169576	08/10/2023	1,783.33	50825	.00	0	
Total 1051100210:							1,826.53		.00		
10-51100-310	ASSESSOR SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	3.74	50929	.00	0	
10-51100-310	ASSESSOR SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	10.75	50929	.00	0	
Total 1051100310:							14.49		.00		
10-51110-180	RECOGNITION PROGRAM	9017	US BANK	PIGGLY WIGGLY	2394-0626	08/10/2023	53.63	20132100	.00	0	
Total 1051110180:							53.63		.00		
10-51110-250	FINANCE OFFICE EQUIP CON	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	28.20	50929	.00	0	
10-51110-250	FINANCE OFFICE EQUIP CON	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	81.17	50929	.00	0	
Total 1051110250:							109.37		.00		
10-51110-251	FINANCE - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	FINANCE CLERK OTHER	BDR-0823	08/15/2023	54.82	50875	.00	0	
10-51110-251	FINANCE - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	ROUNDING ISSUE	BDR-0823	08/15/2023	8.30	50875	.00	0	
10-51110-251	FINANCE - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	ROUNDING ISSUE	BDR-0823	08/15/2023	8.30	50875	.00	0	
10-51110-251	FINANCE - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	ROUNDING ISSUE	BDR-0823	08/15/2023	8.30	50875	.00	0	
10-51110-251	FINANCE - IT MAINT & REPAIR	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	125.00	50910	.00	0	
Total 1051110251:							204.72		.00		
10-51110-290	FINANCE PUBLISHING CONTR	2380	THE EVANSVILLE REVIEW	MONTHLY PUBLICATION CHARGE	703	08/10/2023	675.00	50861	.00	0	
Total 1051110290:							675.00		.00		
10-51110-310	FINANCE OFFICE SUPPLIES &	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.42	50929	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.21	50929	.00	0	

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10-51110-310	FINANCE OFFICE SUPPLIES &	4430	SCHWAAB INC	CLASSIC DESK HOLDER	8370948	08/01/2023	54.41	50809	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	9017	US BANK	BOUNCIE	6123-0703	08/10/2023	8.00	20132100	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	9017	US BANK	DOA E PAY DOC SALES	0981-0627	08/10/2023	33.98	20132100	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	9017	US BANK	SUPPLIES POSTGE METER LABELS	0981-0720	08/10/2023	9.59	20132100	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	4600	STAPLES BUSINESS CRE	RUBBER BANDS	1650143981	08/10/2023	7.79	50860	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	4600	STAPLES BUSINESS CRE	STAPLES BASIC DUTY FILE BOXES, REFILL BLADES, HAND SOAP, STAPLES	1650143981	08/10/2023	58.46	50860	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	4600	STAPLES BUSINESS CRE	STAPLES INVISIBLE TAPE, HERITAGE X-LINES	1650143981	08/10/2023	85.26	50860	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	40.19	50855	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	34.33	50855	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	10.54	50854	.00	0	
10-51110-310	FINANCE OFFICE SUPPLIES &	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	9.00	50854	.00	0	
Total 1051110310:							353.18		.00		
10-51110-330	FINANCE PROFESSIONAL DE	1234	APT US&C	ANNUAL MEMBERSHIP RENEWAL	27108	08/10/2023	31.80	50823	.00	0	
Total 1051110330:							31.80		.00		
10-51110-361	FINANCE COMMUNICATIONS	1240	THRYV	ADVERTISING/WHITE PAGES-CITY HALL	800370190-0	08/24/2023	29.00	50964	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	129.24	20132100	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	9017	US BANK	ROUNDING ISSUES	6123-0701	08/10/2023	.48	20132100	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0052351073	08/24/2023	103.49	50914	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596354128	08/24/2023	53.98	50966	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	248.07	50930	.00	0	
10-51110-361	FINANCE COMMUNICATIONS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	75.39	50811	.00	0	
Total 1051110361:							638.69		.00		
10-51120-355	MUNICIPAL BUILDINGS	1060	EVANSVILLE HARDWARE	WEATHERSTRIP BLK	200030-0723	08/10/2023	25.99	50835	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	1230	ARAMARK	MAT_NYLON/RUBBER 3X10/4X6/SERVICE CHARGE	6140222216	08/10/2023	71.55	50824	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	1230	ARAMARK	MONTHLY RUG SERVICE-CITY HALL	6140230006	08/24/2023	71.55	50903	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	4426	SCHINDLER ELEVATOR C	ELEVATOR INSPECTION SERVICE- QUARTERLY	8106320130	08/24/2023	589.74	50959	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	731.92	20132105	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	5600	WE ENERGIES	MONTHLY GAS SERVICE	00002-0723	08/01/2023	24.65	50818	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	5600	WE ENERGIES	MONTHLY GAS SERVICE	00002-0823	08/31/2023	27.20	50996	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	3955	PROFESSIONAL PEST CO	MONTHLY PEST CONTROL-CITY HALL	634870	08/24/2023	53.00	50955	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	11.02	50905	.00	0	

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10-51120-355	MUNICIPAL BUILDINGS	1940	CULLIGAN / COMPLETE W	BOTTLED WATER	0206130	08/31/2023	30.00	50982	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	1940	CULLIGAN / COMPLETE W	FUEL SURCHARGE	0206130	08/31/2023	2.00	50982	.00	0	
10-51120-355	MUNICIPAL BUILDINGS	1940	CULLIGAN / COMPLETE W	COOLER RENTAL	1010871	08/01/2023	8.00	50778	.00	0	
Total 1051120355:							1,646.62		.00		
10-51140-210	COMMUNITY WEB PAGE	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	125.00	50910	.00	0	
Total 1051140210:							125.00		.00		
10-51140-285	DOG & CAT EXPENSE	4320	ROCK COUNTY TREASUR	DOG LICENSES - JULY	2023-07 DO	08/10/2023	18.75	50856	.00	0	
10-51140-285	DOG & CAT EXPENSE	4259	HUMANE SOCIETY OF SO	ANIMAL R&B / PICK UP CHARGE	200	08/10/2023	308.33	50841	.00	0	
Total 1051140285:							327.08		.00		
10-51140-510	PROPERTY INSURANCE	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	753.15	50915	.00	0	
Total 1051140510:							753.15		.00		
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0627	08/10/2023	7.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0629	08/10/2023	7.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0630	08/10/2023	7.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0710	08/10/2023	28.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0711	08/10/2023	14.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0714	08/10/2023	7.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	9017	US BANK	DOJ EPAY RECORDS CHECK	7376-0717	08/10/2023	7.00	20132100	.00	0	
10-52200-210	PROFESSIONAL SERVICES	4107	TRANS UNION RISK AND A	CREDIT CHECK-POLICE	5729311-202	08/10/2023	114.00	50863	.00	0	
10-52200-210	PROFESSIONAL SERVICES	3532	MOTOROLA SOLUTIONS I	EVIDENCE LIBRARY FOR PD	1411023773	08/10/2023	5.91	50849	.00	0	
Total 1052200210:							196.91		.00		
10-52200-251	POLICE - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	PD-BACKUP SERVER/LABOR	BDR-0823	08/15/2023	149.00	50875	.00	0	
10-52200-251	POLICE - IT MAINT & REPAIR	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	50.00	50910	.00	0	
Total 1052200251:							199.00		.00		
10-52200-260	ACCREDITATION	5590	WI LAW ENFORCEMENT A	ANNUAL DUES PLUS WIPAC	7	08/24/2023	650.00	50970	.00	0	
Total 1052200260:							650.00		.00		
10-52200-290	POLICE 911 SERVICE	3316	CITY OF MILTON	IAM RESPONDING SOFTWARE 2023	10323	08/10/2023	25.42	50829	.00	0	

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Total 1052200290:							25.42		.00		
10-52200-310	POLICE OFFICE SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	26.43	50929	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	76.07	50929	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	3980	QUILL CORPORATION	QB 6 FAST PARTITION FLDR LTR	34026648	08/31/2023	84.99	50990	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	9017	US BANK	AMAZON SPIDERCASE IPHONE MILITARY GRADE	9978-0724	08/10/2023	30.48	20132100	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	9017	US BANK	AMAZON MICROFIBER CLEANING CLOTH	2472-0703	08/10/2023	29.99	20132100	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	15.63	50855	.00	0	
10-52200-310	POLICE OFFICE SUPPLIES	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	4.10	50854	.00	0	
Total 1052200310:							267.69		.00		
10-52200-330	POLICE PROFESSIONAL DEV	3325	MADISON COLLEGE	TUITION AND FEES, TWAY, TREVOR	CORP-00000	08/01/2023	161.20	50796	.00	0	
10-52200-330	POLICE PROFESSIONAL DEV	3598	MATTHEW NANKEE	TASER RECERTIFICATION	2023-07	08/01/2023	40.89	50797	.00	0	
10-52200-330	POLICE PROFESSIONAL DEV	4421	JEREMY SCHMIDT	TRASER TRAINING	2023-07	08/01/2023	36.58	50792	.00	0	
Total 1052200330:							238.67		.00		
10-52200-340	POLICE EQUIPMENT	9017	US BANK	SATHERS SERVICE TIRE REPAIR	9978-0719	08/10/2023	35.00	20132100	.00	0	
10-52200-340	POLICE EQUIPMENT	922816	GALLS LLC	GLOVES LT. JONES	024452456	08/10/2023	241.99	50839	.00	0	
Total 1052200340:							276.99		.00		
10-52200-342	POLICE COMMISSION	9017	US BANK	MONROE ENGRAVING	2472-0718	08/10/2023	55.96	20132100	.00	0	
Total 1052200342:							55.96		.00		
10-52200-350	POLICE EQUIP MAINTENANCE	1230	ARAMARK	MAT_NYLON/RUBBER 3X10/4X6/SERVICE CHARGE	614022215	08/10/2023	36.73	50824	.00	0	
10-52200-350	POLICE EQUIP MAINTENANCE	9017	US BANK	AMAZON TOUCHSCREEN MOTORCYCLE TACTICAL GLOVES	2472-0722	08/10/2023	18.99	20132100	.00	0	
10-52200-350	POLICE EQUIP MAINTENANCE	3600	NAPA OF OREGON	WASHER FLUID	384-381117	08/10/2023	35.94	50850	.00	0	
10-52200-350	POLICE EQUIP MAINTENANCE	4350	RT'S AUTOMOTIVE PERFO	ALTERNATOR, SERPENTINE BELT	2023-07-2	08/01/2023	578.20	50807	.00	0	
10-52200-350	POLICE EQUIP MAINTENANCE	4350	RT'S AUTOMOTIVE PERFO	2020 FORD POLICE INTERCEPTER	2023-07-3	08/01/2023	64.29	50807	.00	0	
10-52200-350	POLICE EQUIP MAINTENANCE	3751	PAPA DUKES-WHO'S CRAZ	PD-VEHICLE WASHES	2023-07	08/10/2023	77.40	50853	.00	0	
Total 1052200350:							811.55		.00		
10-52200-355	POLICE BLDG MAINT	1230	ARAMARK	BIWEEKLY RUG SERVICE-PD	6140230005	08/24/2023	36.73	50903	.00	0	
10-52200-355	POLICE BLDG MAINT	1776	CINTA CORPORATION	RESTOCK MEDICINE CABINET	8406355162	08/10/2023	108.71	50868	.00	0	

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Total 1052200355:							145.44		.00		
10-52200-360	POLICE BLDG UTILITIES EXPE	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	566.26	20132105	.00	0	
10-52200-360	POLICE BLDG UTILITIES EXPE	5600	WE ENERGIES	MONTHLY GAS SERVICE	00005-0723	08/10/2023	13.61	50864	.00	0	
10-52200-360	POLICE BLDG UTILITIES EXPE	5600	WE ENERGIES	MONTHLY GAS SERVICE	00005-0823	08/31/2023	13.85	50996	.00	0	
10-52200-360	POLICE BLDG UTILITIES EXPE	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596291750	08/24/2023	443.94	50966	.00	0	
Total 1052200360:							1,037.66		.00		
10-52200-361	POLICE COMMUNICATIONS	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	272.84	20132100	.00	0	
10-52200-361	POLICE COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0052351073	08/24/2023	103.49	50914	.00	0	
10-52200-361	POLICE COMMUNICATIONS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	290.54	50930	.00	0	
10-52200-361	POLICE COMMUNICATIONS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	2,487.70	50811	.00	0	
Total 1052200361:							3,154.57		.00		
10-52200-510	POLICE PROPERTY INSURAN	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	478.53	50915	.00	0	
Total 1052200510:							478.53		.00		
10-52210-210	FIRE DISTRICT CONTRIBUTIO	2280	EVANSVILLE COMMUNITY	CITY OF EVANSVILLE BUDGET SHARE, 35% OF \$286,612.67	EVL-23B	08/10/2023	100,314.43	50834	.00	0	
Total 1052210210:							100,314.43		.00		
10-52240-300	BLDG INSP - MISC EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.13	50929	.00	0	
10-52240-300	BLDG INSP - MISC EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	.36	50929	.00	0	
10-52240-300	BLDG INSP - MISC EXP	1681	CASEY'S BUSINESS MAST	BUILDING INSPECTOR FUEL W/ DISCOUNT	QN366-0823	08/31/2023	70.25	50977	.00	0	
10-52240-300	BLDG INSP - MISC EXP	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	3.65	50855	.00	0	
10-52240-300	BLDG INSP - MISC EXP	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.96	50854	.00	0	
Total 1052240300:							75.35		.00		
10-52240-361	BLDG INSP - COMMUNICATIO	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	14.36	20132100	.00	0	
10-52240-361	BLDG INSP - COMMUNICATIO	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596354128	08/24/2023	97.14	50966	.00	0	
Total 1052240361:							111.50		.00		
10-53300-210	PROFESSIONAL SERVICES	4990	TOWN & COUNTRY ENGIN	TDS FIBER BUILDOUT SUPPORT	25602	08/24/2023	200.00	50965	.00	0	

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Total 1053300210:							200.00		.00		
10-53300-280	PW DRUG & ALCOHOL TESTIN	3305	MERCY HEALTH SYSTEM	DRUG SCREEN DOT PANEL	00022049-00	08/24/2023	48.00	50938	.00		0
Total 1053300280:							48.00		.00		
10-53300-300	PW STREET MAINT& REPAIRS	1060	EVANSVILLE HARDWARE	PRIMRSPRY AUTO, TAPE MEASURE LVRLOCK, ACE BTR	200030-0723	08/10/2023	19.97	50835	.00		0
10-53300-300	PW STREET MAINT& REPAIRS	4165	ROCK ROAD COMPANIES I	HOT ASPHALT MIX	316432	08/01/2023	807.65	50805	.00		0
10-53300-300	PW STREET MAINT& REPAIRS	4165	ROCK ROAD COMPANIES I	HOT ASPHALT MIX	316823	08/01/2023	828.18	50805	.00		0
10-53300-300	PW STREET MAINT& REPAIRS	4165	ROCK ROAD COMPANIES I	HOT ASPHALT MIX	316850	08/01/2023	1,027.04	50805	.00		0
Total 1053300300:							2,682.84		.00		
10-53300-302	DE-ICING MATERIALS	1849	COMPASS MINERALS AME	BULK HIGHWAY COARSE W/YPS	1211888	08/24/2023	25,685.65	50917	.00		0
Total 1053300302:							25,685.65		.00		
10-53300-310	PW OFFICE SUPPLIES & EXP	1060	EVANSVILLE HARDWARE	OSCILLATING TOWER FAN	200030-0723	08/10/2023	59.99	50835	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	1776	CINTAS CORPORATION	RESTOCK MEDICINE CABINET	8406355161	08/15/2023	63.72	50872	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.41	50929	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.17	50929	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.71	50855	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.19	50854	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	922887	JAY'S BIG ROLL INC.	BRAVO ULTIMATE PREMIUM PAPER TOWELS	0040559	08/10/2023	48.00	50844	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	922887	JAY'S BIG ROLL INC.	FORKS	0040559	08/10/2023	10.00	50844	.00		0
10-53300-310	PW OFFICE SUPPLIES & EXP	922887	JAY'S BIG ROLL INC.	LYSOL	0040559	08/10/2023	4.00	50844	.00		0
Total 1053300310:							188.19		.00		
10-53300-340	PW - TOOLS & EQUIP	1060	EVANSVILLE HARDWARE	SCREWDRIVER	200030-0723	08/10/2023	7.96	50835	.00		0
10-53300-340	PW - TOOLS & EQUIP	922798	THE HOME DEPOT PRO IN	RIDGID 10' JOBSITE TABLE SAW	2023-07	08/10/2023	399.00	50862	.00		0
10-53300-340	PW - TOOLS & EQUIP	922798	THE HOME DEPOT PRO IN	HUSKY FOLD LK BACK UTILI KNIFE	2023-07	08/10/2023	5.97	50862	.00		0
10-53300-340	PW - TOOLS & EQUIP	922798	THE HOME DEPOT PRO IN	SCREWS	2023-07	08/10/2023	15.48	50862	.00		0
10-53300-340	PW - TOOLS & EQUIP	922798	THE HOME DEPOT PRO IN	10" 40T GEN PURPOSE CSB	2023-07	08/10/2023	31.97	50862	.00		0
Total 1053300340:							460.38		.00		
10-53300-343	PW VEHICLE FUEL	1681	CASEY'S BUSINESS MAST	DPW FUEL W/ DISCOUNT	QN366-0823	08/31/2023	319.38	50977	.00		0
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	143.66	50919	.00		0
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	58.65	50919	.00		0

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10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	223.81	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	200.23	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	189.06	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	69.61	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	111.78	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	105.23	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	100.82	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	58.36	50919	.00	0	
10-53300-343	PW VEHICLE FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	103.87	50919	.00	0	
Total 1053300343:							1,684.46		.00		
10-53300-355	PW BLDG MAINT & SUPPLIES	1060	EVANSVILLE HARDWARE	THREAD SEAL TPE, BIB HOSE BALL VALV, ELBOW GALV	200030-0723	08/10/2023	22.57	50835	.00	0	
Total 1053300355:							22.57		.00		
10-53300-360	PW BLDG UTILITIES EXP-HEAT	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	615.23	20132105	.00	0	
10-53300-360	PW BLDG UTILITIES EXP-HEAT	5600	WE ENERGIES	MONTHLY GAS SERVICE	00001-0723	08/10/2023	25.21	50864	.00	0	
Total 1053300360:							640.44		.00		
10-53300-361	PW COMMUNICATIONS	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	43.08	20132100	.00	0	
10-53300-361	PW COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY INTERNET SERVICE	0068456072	08/10/2023	116.97	50827	.00	0	
10-53300-361	PW COMMUNICATIONS	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596337669	08/24/2023	83.77	50966	.00	0	
10-53300-361	PW COMMUNICATIONS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	50.37	50930	.00	0	
10-53300-361	PW COMMUNICATIONS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	15.31	50811	.00	0	
10-53300-361	PW COMMUNICATIONS	922889	WISCONSIN MEDIA GROU	3X4" CLASSIFIED DISPLAY HELP WANTED AD	357833	08/10/2023	171.96	50867	.00	0	
Total 1053300361:							481.46		.00		
10-53300-390	PW MISC EXPENSE	9017	US BANK	BP - ICE	9139-066	08/10/2023	3.90	20132100	.00	0	
10-53300-390	PW MISC EXPENSE	922883	GANNETT MEDIA CORP	RECRUITMENT AD	0005717792	08/01/2023	148.85	50784	.00	0	
Total 1053300390:							152.75		.00		
10-53300-510	PW PROPERTY INSURANCE	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	681.69	50915	.00	0	
Total 1053300510:							681.69		.00		
10-53300-891	PW MAPPING	4990	TOWN & COUNTRY ENGIN	2023 GIS SUPPORT	25603	08/24/2023	245.00	50965	.00	0	

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
Total 1053300891:							245.00		.00		
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	FUEL SURCHARGE	0003966300	08/24/2023	439.40	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	MONTHLY TRASH SERVICE/WEEKLY	0003966300	08/24/2023	6,636.93	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	MONTHLY RECYCLE SERVICE/BI-WEEKLY	0003966300	08/24/2023	3,067.20	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	MONTHLY RECYCLE SERVICE/BI-WEEKLY	0003966300	08/24/2023	3,288.72	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	MONTHLY TRASH SERVICE/WEEKLY	0003966300	08/24/2023	6,347.34	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	MONTHLY RECYCLE SERVICE/BI-WEEKLY	0003966300	08/24/2023	3,003.30	50936	.00	0	
10-53310-290	Recycling & Refuse Collection	1295	LRS-BADGERLAND DISPO	4 YARD FRONT LOAD TRASH SERVICE	0003966300	08/24/2023	103.32	50936	.00	0	
Total 1053310290:							22,886.21		.00		
10-53470-300	PW STREET LIGHTING EXP	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	5,378.17	20132105	.00	0	
Total 1053470300:							5,378.17		.00		
10-54600-720	AWARE AGENCY	1238	AWARE AGENCY	AWARE FUNDING DONATION	2023-08	08/31/2023	10,000.00	50975	.00	0	
Total 1054600720:							10,000.00		.00		
10-54620-210	SENIOR CITIZENS PROGRAM	2239	CREEKSIDE PLACE INC	MONTHLY SR PROGRAMMING	40305	08/10/2023	900.00	50831	.00	0	
Total 1054620210:							900.00		.00		
10-54620-212	SENIOR TRANS & SERVICES	2239	CREEKSIDE PLACE INC	SR SERVICE COOR COMPENSATION	40305	08/10/2023	1,925.84	50831	.00	0	
Total 1054620212:							1,925.84		.00		
10-55720-300	PARK MAINT EXPENSES	1060	EVANSVILLE HARDWARE	PAPR YARD BAG	200030-0723	08/10/2023	5.98	50835	.00	0	
10-55720-300	PARK MAINT EXPENSES	1060	EVANSVILLE HARDWARE	C&K EXT FLT, LAMPHOLDER KEYLES	200030-0723	08/10/2023	51.58	50835	.00	0	
10-55720-300	PARK MAINT EXPENSES	1060	EVANSVILLE HARDWARE	EYL EXT SAT NB	200030-0723	08/10/2023	41.99	50835	.00	0	
10-55720-300	PARK MAINT EXPENSES	1990	THE DELONG CO INC	TORDON RTU	3020818	08/01/2023	59.64	50815	.00	0	
10-55720-300	PARK MAINT EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.45	50929	.00	0	
10-55720-300	PARK MAINT EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.30	50929	.00	0	
10-55720-300	PARK MAINT EXPENSES	9017	US BANK	20 GALLON TREE WATERING BAGS, PLASTIC MILL RUBBER BANDS	3774-0716	08/10/2023	148.98	20132100	.00	0	
10-55720-300	PARK MAINT EXPENSES	2930	LYCON	MASSON SAND	0512863-IN	08/10/2023	218.03	50846	.00	0	
10-55720-300	PARK MAINT EXPENSES	5560	WISCONSIN DEPT OF REV	SALES USE TAX- SHELTER RENTAL	2023-07 SAL	08/24/2023	17.21	20132112	.00	0	
10-55720-300	PARK MAINT EXPENSES	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	.73	50855	.00	0	

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10-55720-300	PARK MAINT EXPENSES	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.19	50854	.00	0	
10-55720-300	PARK MAINT EXPENSES	1295	LRS-BADGERLAND DISPO	WEEKLY STANDARD RESTROOM - SOCCER	0003909505	08/15/2023	53.27	50884	.00	0	
Total 1055720300:							599.35		.00		
10-55720-343	PARKS FUEL	1681	CASEY'S BUSINESS MAST	PARK FUEL W/ DISCOUNT	QN366-0823	08/31/2023	127.40	50977	.00	0	
Total 1055720343:							127.40		.00		
10-55720-360	PARK UTILITIES EXPENSE	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	1,495.67	20132105	.00	0	
Total 1055720360:							1,495.67		.00		
10-55720-361	PARKS COMMUNICATION EXP	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596337669	08/24/2023	45.99	50966	.00	0	
Total 1055720361:							45.99		.00		
10-55720-362	BALLFIELD LIGHTING EXP	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	9,329.05-	20132105	.00	0	
Total 1055720362:							9,329.05-		.00		
10-55720-510	PARK PROPERTY INSURANCE	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	646.57	50915	.00	0	
Total 1055720510:							646.57		.00		
10-55730-300	SWIMMING POOL EXPENSES	1060	EVANSVILLE HARDWARE	HYDRAULIC CMNT	200030-0723	08/10/2023	21.99	50835	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.37	50929	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.05	50929	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	2942	JEFF'S PLUMBING & HEAT	REPAIRED BROKEN WATER LINE	2023-07 - PO	08/15/2023	302.00	50882	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	BULK LIQUID CHLORINE	107794	08/01/2023	971.50	50799	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	HAZARDOUS MATERIALS CHARGE	107794	08/01/2023	5.00	50799	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	FUEL/DELIVERY CHARGE	107794	08/01/2023	5.00	50799	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	5 GAL MURIATIC ACID	108387	08/24/2023	161.94	50939	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	5 GAL ACID CARBOY CREDIT	108387	08/24/2023	120.00-	50939	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	40# STABILIZER/CONDITIONER	108387	08/24/2023	154.99	50939	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	3460	MIDWEST POOL SUPPLY	COMPLETE CHLORINE TEST KIT	108387	08/24/2023	102.99	50939	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	2,854.59	20132105	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	9017	US BANK	WRISTCO	4877-0627	08/10/2023	87.99	20132100	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	9017	US BANK	OFFICE MAX	4877-0706	08/10/2023	32.48	20132100	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	28.72	20132100	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	9017	US BANK	USPS	0981-0718	08/10/2023	8.50	20132100	.00	0	

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10-55730-300	SWIMMING POOL EXPENSES	5560	WISCONSIN DEPT OF REV	SALES USE TAX-POOL	2023-07 SAL	08/24/2023	471.12	20132112	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	11.02	50905	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	1.41	50855	.00	0	
10-55730-300	SWIMMING POOL EXPENSES	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.37	50854	.00	0	
Total 1055730300:							5,103.03		.00		
10-55730-510	SWIMMING POOL PROPERTY I	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	116.81	50915	.00	0	
Total 1055730510:							116.81		.00		
10-55740-300	PARK STORE EXPENSES	1085	AT & T LONG DISTANCE	AT&T LONG DISTANCE	814123069-0	08/24/2023	49.91	50904	.00	0	
10-55740-300	PARK STORE EXPENSES	2800	HOLIDAY WHOLESAL INC	SUPPLIES-CANDY/GATORADE/SODA/ICE CREAM	1464112	08/01/2023	285.20	50788	.00	0	
10-55740-300	PARK STORE EXPENSES	2800	HOLIDAY WHOLESAL INC	ICE CREAM, FLAVOR ICE, PRETZEL, BOSCO STICK	1477808	08/01/2023	630.30	50788	.00	0	
10-55740-300	PARK STORE EXPENSES	2800	HOLIDAY WHOLESAL INC	FRITO, SOUR PUNCH, SKITTLES, CAN LINER, WATER	1490952	08/10/2023	437.05	50840	.00	0	
10-55740-300	PARK STORE EXPENSES	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	3,124.43	20132105	.00	0	
10-55740-300	PARK STORE EXPENSES	5560	WISCONSIN DEPT OF REV	SALES USE TAX-PARK STORE	2023-07 SAL	08/24/2023	147.46	20132112	.00	0	
Total 1055740300:							4,674.35		.00		
10-55750-210	YOUTH CENTER PROF SERVI	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.05	50929	.00	0	
10-55750-210	YOUTH CENTER PROF SERVI	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	.16	50929	.00	0	
10-55750-210	YOUTH CENTER PROF SERVI	3955	PROFESSIONAL PEST CO	MONTHLY PEST CONTROL-YOUTH CTR	630344	08/01/2023	38.00	50803	.00	0	
10-55750-210	YOUTH CENTER PROF SERVI	3955	PROFESSIONAL PEST CO	MONTHLY PEST CONTROL-YOUTH CTR	634871	08/24/2023	38.00	50955	.00	0	
Total 1055750210:							76.21		.00		
10-55750-300	YOUTH CENTER OPER EXPE	5600	WE ENERGIES	MONTHLY GAS SERVICE-YOUTH CENTER	00010-0323	08/01/2023	97.83-	50818	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	5600	WE ENERGIES	MONTHLY GAS SERVICE-YOUTH CENTER	00010-07242	08/01/2023	9.57	50818	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	5600	WE ENERGIES	MONTHLY GAS SERVICE-YOUTH CENTER	00010-0823	08/31/2023	10.56	50996	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	14.36	20132100	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	1730	CHARTER COMMUNICATI	CHARTER SPECTRUM YOUTH CENTER	0084271071	08/01/2023	137.96	50774	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	1730	CHARTER COMMUNICATI	CHARTER SPECTRUM YOUTH CENTER	0084271081	08/31/2023	137.96	50978	.00	0	
10-55750-300	YOUTH CENTER OPER EXPE	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	.02	50855	.00	0	

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Total 1055750300:							212.60		.00		
10-55750-355	YOUTH CNTR REPAIRS& MAIN	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	266.39	20132105	.00	0	
Total 1055750355:							266.39		.00		
10-55750-510	YOUTH CENTER PROPERTY I	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	158.53	50915	.00	0	
Total 1055750510:							158.53		.00		
10-55760-300	BASEBALL/RECREATON EXPE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	1.58	50929	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	4.55	50929	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	9017	US BANK	AMAZON BATTING TEE	0981-0717	08/10/2023	79.98	20132100	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	9017	US BANK	AMAZON BATTING REPLACEMENT TUBES	0981-0720	08/10/2023	25.98	20132100	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	2732	HALO BRANDED SOLUTIO	CITY LEAGUE BASEBALL GEAR	2023000125	08/01/2023	39.50	50786	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.99	50855	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.26	50854	.00	0	
10-55760-300	BASEBALL/RECREATON EXPE	922644	BURTNESS, HEATHER	BELOIT SKY CARP REIMBURESMENT	2023-08	08/24/2023	79.28	50909	.00	0	
Total 1055760300:							232.12		.00		
10-56820-210	PROFESSIONAL SERVICES	1885	CONSIGNY LAW FIRM SC	ATTY FEES-ECONOMIC DEV.	9831-70-823	08/24/2023	280.50	50918	.00	0	
Total 1056820210:							280.50		.00		
10-56820-300	ECONOMIC DEVELOPMENT E	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.54	50929	.00	0	
10-56820-300	ECONOMIC DEVELOPMENT E	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.56	50929	.00	0	
10-56820-300	ECONOMIC DEVELOPMENT E	4000	JASON SERGEANT	REIMB - MILEAGE	2023-08	08/24/2023	25.76	50933	.00	0	
10-56820-300	ECONOMIC DEVELOPMENT E	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.37	50855	.00	0	
10-56820-300	ECONOMIC DEVELOPMENT E	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.10	50854	.00	0	
Total 1056820300:							28.33		.00		
10-56840-210	PROFESSIONAL SERVICES	1885	CONSIGNY LAW FIRM SC	ATTY FEES-COMMUNITY PLANNING	9831-70-823	08/24/2023	82.50	50918	.00	0	
10-56840-210	PROFESSIONAL SERVICES	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.02	50855	.00	0	
Total 1056840210:							82.52		.00		
10-56840-251	COMM DEVL - IT MAINT & REP	1850	COMPUTER KNOW HOW L	COMMUNITY DEVELOPMENT							

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				DIRECTOR/GIS	BDR-0823	08/15/2023	1.24	50875	.00	0	
Total 1056840251:							1.24		.00		
10-56840-300	COMMUNITY DEVELOP EXPE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	10.67	50929	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	30.72	50929	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	28.72	20132100	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	9017	US BANK	ALIMENTARI BY A PIG IN A	0999-0712	08/10/2023	19.61	20132100	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	9017	US BANK	CITY OF MADISON PARKING	0999-0712-1	08/10/2023	5.20	20132100	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	5035	U S CELLULAR	MONTHLY CELLULAR SERVICE-COURT CLERK	0590543314-	08/01/2023	7.05	50816	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596354128	08/24/2023	85.80	50966	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	5035	U S CELLULAR	MONTHLY CELLULAR SERVICE-COURT CLERK	0596559291	08/24/2023	14.26	50966	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	67.62	50842	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	10.10	50930	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	5.01	50855	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	1.31	50854	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	4525	SPRANGER, COLETTE	REIMB MILEAGE - CEDS & WEDC	2023-07	08/01/2023	65.83	50810	.00	0	
10-56840-300	COMMUNITY DEVELOP EXPE	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	362.83	50811	.00	0	
Total 1056840300:							714.73		.00		
10-56880-300	HISTORIC PRESERVATION EX	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	4.57	50929	.00	0	
10-56880-300	HISTORIC PRESERVATION EX	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	13.15	50929	.00	0	
10-56880-300	HISTORIC PRESERVATION EX	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	4.29	50855	.00	0	
10-56880-300	HISTORIC PRESERVATION EX	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	1.12	50854	.00	0	
Total 1056880300:							23.13		.00		
11-56820-300	TOURISM EXPENSE	3744	OUR WISCONSIN MAGAZI	1/6 PAGE AD	4727	08/10/2023	646.00	50852	.00	0	
Total 1156820300:							646.00		.00		
11-56820-410	ECONOMIC DEVELOPMENT M	922144	MARIAH CALLEY	WALKING TOUR HANDBOOK PDF	080123A	08/31/2023	90.00	50984	.00	0	
Total 1156820410:							90.00		.00		
20-52220-210	EMS PROFESSIONAL SERVIC	3955	PROFESSIONAL PEST CO	MONTHLY PEST CONTROL	630345	08/01/2023	32.00	50803	.00	0	
20-52220-210	EMS PROFESSIONAL SERVIC	3955	PROFESSIONAL PEST CO	MONTHLY PEST CONTROL-EMS BLDG	634872	08/31/2023	32.00	50988	.00	0	

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Total 2052220210:							64.00		.00		
20-52220-251	EMS - IT MAINT & REPAIR	9017	US BANK	ASURION REPAIR	6903-0718	08/10/2023	249.99	20132100	.00	0	
20-52220-251	EMS - IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	EMS-SERVER MAINT. BACKUP SUPPORT	BDR-0823	08/15/2023	1.24	50875	.00	0	
20-52220-251	EMS - IT MAINT & REPAIR	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	50.00	50910	.00	0	
Total 2052220251:							301.23		.00		
20-52220-310	EMS OFFICE SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.10	50929	.00	0	
20-52220-310	EMS OFFICE SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	.28	50929	.00	0	
20-52220-310	EMS OFFICE SUPPLIES	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	4.00	50855	.00	0	
20-52220-310	EMS OFFICE SUPPLIES	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	1.05	50854	.00	0	
Total 2052220310:							5.43		.00		
20-52220-330	EMS PROFESSIONAL DEVL	3006	MORGAN KATZENMEYER	EMS COURSE TEXTBOOK/WORKBOOK/ONLINE ACCESS	2023-08	08/31/2023	1,276.73	50985	.00	0	
Total 2052220330:							1,276.73		.00		
20-52220-340	EMS MED SUPPLIES & EQUIP	5253	WELDERS SUPPLY COMP	USP OXYGEN	10375395	08/15/2023	161.98	50896	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	5253	WELDERS SUPPLY COMP	USP OXYGEN 387L 13CF	10377546	08/24/2023	62.83	50969	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	MEDICAL SUPPLIES STETHOSCOPE	2548237	08/01/2023	58.50	50782	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	DYNAREX FABRIC BANDAGE	2570760	08/01/2023	5.20	50782	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	TRANSPARENT TAPE	2570760	08/01/2023	11.96	50782	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	CURAPLEX EMS SHEARS	2570760	08/01/2023	11.58	50782	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	NAR HYFIN VENT CHEST SEAL	2570760	08/01/2023	263.84	50782	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	2157	EMERGENCY MEDICAL PR	DUKAL 6" STERILE CONFORMING GAUZE	2572187	08/10/2023	22.64	50833	.00	0	
20-52220-340	EMS MED SUPPLIES & EQUIP	1548	BOUND TREE MEDICAL LL	BP CUFF, FLEXPOT, SIZE 11 ADULT	85033903	08/01/2023	209.80	50772	.00	0	
Total 2052220340:							808.33		.00		
20-52220-343	EMS AMBULANCE FUEL	922831	CONSUMERS COOP OIL C	EMS - FUEL	154781-08	08/24/2023	793.98	50919	.00	0	
Total 2052220343:							793.98		.00		
20-52220-350	EMS AMBULANCE MAINTENA	2542	GORDIE BOUCHER FORD	FORD F450 SUPERDUTY REPLACE OIL TUBE LINES	650449	08/24/2023	2,053.21	50928	.00	0	
20-52220-350	EMS AMBULANCE MAINTENA	4468	SIREN SERVICES LLC	SERVICE CALL ON AMBULANCE	2128	08/24/2023	443.06	50962	.00	0	

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Total 2052220350:							2,496.27		.00		
20-52220-355	EMS BUILDING MAINT & REPA	1060	EVANSVILLE HARDWARE	TUBE CLEAN BRUSH, MINI TUBE CUTTER, SB BALL VALVE	200030-0723	08/10/2023	82.15	50835	.00	0	
20-52220-355	EMS BUILDING MAINT & REPA	3640	NELSON YOUNG LUMBER	2X6 08 #1 SYP PT GROUND CONTACT, 2X6 10 #1, 4X8 3/4 TREATED CDX	152511-I	08/15/2023	81.52	50888	.00	0	
Total 2052220355:							163.67		.00		
20-52220-361	EMS COMMUNICATIONS	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	28.72	20132100	.00	0	
20-52220-361	EMS COMMUNICATIONS	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	22.04	50905	.00	0	
20-52220-361	EMS COMMUNICATIONS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	35.98	50930	.00	0	
20-52220-361	EMS COMMUNICATIONS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	10.93	50811	.00	0	
Total 2052220361:							97.67		.00		
20-52220-362	EMS UTILITIES	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	429.32	20132105	.00	0	
20-52220-362	EMS UTILITIES	5600	WE ENERGIES	MONTHLY GAS SERVICE	00003-0723	08/10/2023	9.57	50864	.00	0	
20-52220-362	EMS UTILITIES	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0053590108	08/24/2023	51.07	50914	.00	0	
20-52220-362	EMS UTILITIES	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0590233945	08/24/2023	119.25-	50966	.00	0	
20-52220-362	EMS UTILITIES	5035	U S CELLULAR	MONTHLY CELLULAR SERVICE	0596297232	08/24/2023	124.51	50966	.00	0	
Total 2052220362:							495.22		.00		
20-52220-510	EMS PROPERTY INSURANCE	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	174.41	50915	.00	0	
Total 2052220510:							174.41		.00		
21-55700-310	LIBRARY OFFICE SUPPLIES	9017	US BANK	NIUBEE ACRYLIC SIGN HOLDER	6038-0703	08/10/2023	21.99	20132100	.00	0	
21-55700-310	LIBRARY OFFICE SUPPLIES	9017	US BANK	NIUBEE 3 PACK ACRYLIC SIGN HOLDER	6038-0703	08/10/2023	19.99	20132100	.00	0	
21-55700-310	LIBRARY OFFICE SUPPLIES	9017	US BANK	PROMOTION APPLIED	6038-0703	08/10/2023	15.89-	20132100	.00	0	
21-55700-310	LIBRARY OFFICE SUPPLIES	9017	US BANK	SHIPPING & HANDLING	6038-0703	08/10/2023	9.59	20132100	.00	0	
21-55700-310	LIBRARY OFFICE SUPPLIES	4600	STAPLES BUSINESS CRE	JIFFY MAILER PADDED SELF SEAL MAILERS	1650143981	08/10/2023	73.98	50860	.00	0	
Total 2155700310:							109.66		.00		
21-55700-311	LIBRARY BOOK PROCESS SU	7380	DEMCO	SUPERFOLD, PAPERFOLD ADJUSTAB BOOK JACKET	7329441	08/01/2023	160.18	50780	.00	0	
21-55700-311	LIBRARY BOOK PROCESS SU	7380	DEMCO	CLEAR GLOSSY LABEL PROTECTOR	7333350	08/01/2023	139.39	50780	.00	0	

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Total 2155700311:							299.57		.00		
21-55700-312	LIBRARY COPIER SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14293087	08/01/2023	259.35	50785	.00	0	
21-55700-312	LIBRARY COPIER SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	40.73	50929	.00	0	
21-55700-312	LIBRARY COPIER SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	117.23	50929	.00	0	
21-55700-312	LIBRARY COPIER SUPPLIES	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN1486919	08/01/2023	85.85	50785	.00	0	
Total 2155700312:							503.16		.00		
21-55700-313	LIBRARY POSTAGE	8060	PETTY CASH-EAGER FRE	POSTAGE	2023-07	08/01/2023	38.03	50801	.00	0	
21-55700-313	LIBRARY POSTAGE	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.27	50855	.00	0	
21-55700-313	LIBRARY POSTAGE	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.07	50854	.00	0	
Total 2155700313:							38.37		.00		
21-55700-330	LIBRARY PROFESSIONAL DEV	9017	US BANK	UWCC REGISTRATIONS	6038-0713	08/10/2023	135.00	20132100	.00	0	
21-55700-330	LIBRARY PROFESSIONAL DEV	9017	US BANK	UWCC REGISTRATIONS	6038-0713-0	08/10/2023	225.00	20132100	.00	0	
Total 2155700330:							360.00		.00		
21-55700-355	BLDG MAINTENANCE & REPAI	1776	CINTAS	LIBRARY CLEANING	4161075145	08/01/2023	162.26	50776	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	1776	CINTAS	MONTHLY MATS	4161511752	08/01/2023	118.42	50776	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	5600	WE ENERGIES	MONTHLY GAS SERVICE	00001-0723	08/01/2023	685.00	50818	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	9017	US BANK	BRASSO METAL POLISH	6038-0703	08/10/2023	11.96	20132100	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	90400	HOOPER CORPORATION	PLUMBING SERVICE CALL	PL71302352	08/01/2023	275.00	50789	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	3229	LIBERTY LAWN AND MAIN	GROUND MAINTENANCE	2085	08/01/2023	101.25	50795	.00	0	
21-55700-355	BLDG MAINTENANCE & REPAI	1959	DAVE JONES INC	ANNUAL FIRE SPRINKLER INSPECTION	IP1507	08/01/2023	350.00	50779	.00	0	
Total 2155700355:							1,703.89		.00		
21-55700-361	LIBRARY COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0073605080	08/24/2023	45.25	50914	.00	0	
21-55700-361	LIBRARY COMMUNICATIONS	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	22.04	50905	.00	0	
21-55700-361	LIBRARY COMMUNICATIONS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	78.26	50930	.00	0	
21-55700-361	LIBRARY COMMUNICATIONS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	23.78	50811	.00	0	
Total 2155700361:							169.33		.00		
21-55700-362	LIBRARY UTILITIES	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	1,459.43	20132105	.00	0	

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Total 2155700362:							1,459.43		.00		
21-55700-371	LIBRARY ADULT BOOKS	7895	MICRO MARKETING LLC	ADULT BOOKS	928013	08/01/2023	18.49	50798	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7740	INGRAM LIBRARY SERVIC	ADULT BOOKS	76649928	08/01/2023	25.80	50790	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7740	INGRAM LIBRARY SERVIC	ADULT BOOKS	76680394	08/01/2023	23.16	50790	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7740	INGRAM LIBRARY SERVIC	ADULT BOOKS	76680395	08/01/2023	17.19	50790	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7740	INGRAM LIBRARY SERVIC	ADULT BOOKS	76874311	08/01/2023	48.20	50790	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7740	INGRAM LIBRARY SERVIC	ADULT BOOKS	76874312	08/01/2023	17.91	50790	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	203731550	08/01/2023	22.52	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	203739711	08/01/2023	15.99	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037631549	08/01/2023	81.88	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037631551	08/01/2023	312.53	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037631552	08/01/2023	18.76	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037631556	08/01/2023	7.70	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037639712	08/01/2023	55.21	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037639713	08/01/2023	12.23	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037639714	08/01/2023	11.41	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037647131	08/01/2023	426.24	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037647132	08/01/2023	12.84	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037647133	08/01/2023	204.71	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037647134	08/01/2023	87.85	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037652316	08/01/2023	30.26	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037652317	08/01/2023	12.85	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037652318	08/01/2023	152.43	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037652319	08/01/2023	40.38	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037652320	08/01/2023	80.95	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037652321	08/01/2023	11.41	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037669022	08/01/2023	19.62	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037669023	08/01/2023	64.02	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037669024	08/01/2023	10.91	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037669025	08/01/2023	30.14	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037669026	08/01/2023	11.41	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037672209	08/01/2023	5.77	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	ADULT BOOKS	2037672210	08/01/2023	309.98	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2037672211	08/01/2023	160.62	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7100	BAKER & TAYLOR CO	CHILDREN BOOKS VARIOUS TITLES	2203763155	08/01/2023	134.98	50770	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7101	BAKER & TAYLOR	ADULT BOOKS	H65393640	08/01/2023	14.39	50769	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7101	BAKER & TAYLOR	ADULT BOOKS	H65393641	08/01/2023	39.58	50769	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7680	HARLEQUIN READER SER	ADULT BOOKS	209840594-0	08/01/2023	42.70	50787	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7052	BLACKSTONE PUBLISHIN	ADULT BOOKS	2110212	08/01/2023	93.15	50771	.00	0	
21-55700-371	LIBRARY ADULT BOOKS	7250	PLAYAWAY PRODUCTS LL	ADULT BOOKS	435513	08/01/2023	293.21	50802	.00	0	

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21-55700-371	LIBRARY ADULT BOOKS	922823	KANOPY INC.	ADULT BOOKS	356084-PPU	08/01/2023	12.35	50794	.00	0	
Total 2155700371:							2,991.73		.00		
21-55700-372	LIBRARY CHILDREN'S BOOKS	9017	US BANK	AMAZON VIDEO MAKING FOR BEGINNERS	6038-0708-1	08/10/2023	14.97	20132100	.00	0	
21-55700-372	LIBRARY CHILDREN'S BOOKS	9017	US BANK	AMAZON MARSHALL MELLOW	6038-0708-1	08/10/2023	11.99	20132100	.00	0	
21-55700-372	LIBRARY CHILDREN'S BOOKS	9017	US BANK	AMAZON HOW OLD MACDONALD GOT HIS FARM	6038-0708-1	08/10/2023	17.99	20132100	.00	0	
21-55700-372	LIBRARY CHILDREN'S BOOKS	9017	US BANK	AMAZON SNAKES FOR KIDS	6038-0708-1	08/10/2023	8.99	20132100	.00	0	
21-55700-372	LIBRARY CHILDREN'S BOOKS	9105	JUNIOR LIBRARY GUILD	CHILDREN'S BOOKS	655653	08/01/2023	792.44	50793	.00	0	
21-55700-372	LIBRARY CHILDREN'S BOOKS	7250	PLAYAWAY PRODUCTS LL	CHILDREN'S BOOKS	435535	08/01/2023	63.74	50802	.00	0	
Total 2155700372:							910.12		.00		
21-55700-376	LIBRARY PROGRAMMING SUP	1060	EVANSVILLE HARDWARE	PADLOCK CMBO, LUGGAAGE LOCK, CHAIN COIL, CHAIN DBL LOOP	200025-0723	08/10/2023	40.87	50835	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON FUNNY SAYING MUG FOR MEN	6038-0707	08/10/2023	20.40	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON VINTAGE WOMEN BOOK PATTERN GLASS	6038-0708	08/10/2023	7.20	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON 50PCS READING LIST TRACKER BOOKMARK	6038-0709	08/10/2023	14.99	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON 100 PCS BOOK STICKERS	6038-0709	08/10/2023	6.99	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON BARNES & NOBLE GIFT CARDS	6038-0709	08/10/2023	25.00	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON CANVAS TOTE BAG	6038-0709	08/10/2023	11.63	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	AMAZON PAXCOO 124 SKEINS EMBROIDERY FLOSS	6038-0709	08/10/2023	9.99	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	9017	US BANK	PROGRAMS	6038-0709	08/10/2023	73.26	20132100	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	7100	BAKER & TAYLOR CO	PROGRAMING SUPPLIES	2037672213	08/01/2023	9.63	50770	.00	0	
21-55700-376	LIBRARY PROGRAMMING SUP	922886	STEPHANIE DUDZIE	DOLLAR TREE SUPPLIES	2023-07	08/01/2023	5.00	50812	.00	0	
Total 2155700376:							224.96		.00		
21-55700-385	LIBRARY GRANT EXPENDITU	7100	BAKER & TAYLOR CO	GRANT REPLACEMENT ITEMS	2037631554	08/01/2023	29.91	50770	.00	0	
21-55700-385	LIBRARY GRANT EXPENDITU	7100	BAKER & TAYLOR CO	GRANT REPLACEMENT ITEMS	2037631555	08/01/2023	75.31	50770	.00	0	
21-55700-385	LIBRARY GRANT EXPENDITU	7100	BAKER & TAYLOR CO	GRANT REPLACEMENT ITEMS	2037672212	08/01/2023	157.26	50770	.00	0	
21-55700-385	LIBRARY GRANT EXPENDITU	5035	U S CELLULAR	MONTHLY CELLULAR SERVICE- LIBRARY	0589464798	08/01/2023	51.12	50816	.00	0	
Total 2155700385:							313.60		.00		
21-55700-510	LIBRARY PROPERTY INSURA	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	939.89	50915	.00	0	

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Total 2155700510:							939.89		.00		
22-54640-251	CEMETERY IT SERVICES & EQ	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	393.75	50910	.00	0	
Total 2254640251:							393.75		.00		
22-54640-343	CEMETERY FUEL	1681	CASEY'S BUSINESS MAST	CEMETERY FUEL W/ DISCOUNT	QN366-0823	08/31/2023	305.92	50977	.00	0	
Total 2254640343:							305.92		.00		
22-54640-350	CEMETERY MAINT EXP	1060	EVANSVILLE HARDWARE	TOILET SEAT RND	200030-0723	08/10/2023	17.99	50835	.00	0	
22-54640-350	CEMETERY MAINT EXP	1060	EVANSVILLE HARDWARE	LEVERLOCK TAPE MEASR, ACE BOX NAIL	200030-0723	08/10/2023	16.98	50835	.00	0	
22-54640-350	CEMETERY MAINT EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.59	50929	.00	0	
22-54640-350	CEMETERY MAINT EXP	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	1.70	50929	.00	0	
22-54640-350	CEMETERY MAINT EXP	4448	SEW MANY THREADS LLC	FLAG REPAIRS FOR CEMETERY & LIBRARY	3144	08/24/2023	75.00	50961	.00	0	
22-54640-350	CEMETERY MAINT EXP	3320	SUMMIT FIRE PROTECTIO	FIRE EXTING RECHARGING SERVICE	191011190	08/01/2023	18.00	50814	.00	0	
22-54640-350	CEMETERY MAINT EXP	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT- FINANCE	N10052454	08/10/2023	.16	50855	.00	0	
22-54640-350	CEMETERY MAINT EXP	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.04	50854	.00	0	
22-54640-350	CEMETERY MAINT EXP	922798	THE HOME DEPOT PRO IN	POTTING MIX, OSMOCOTE FLOWERING & VEG, BURPEE ORGANIC	8190582	08/10/2023	94.35	50862	.00	0	
Total 2254640350:							224.81		.00		
22-54640-360	CEMETERY UTILITIES EXPEN	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	76.89	20132105	.00	0	
Total 2254640360:							76.89		.00		
22-54640-361	CEMETERY COMMUNICATION	9017	US BANK	ANCESTRY.COM	6887-0713	08/10/2023	23.20	20132100	.00	0	
22-54640-361	CEMETERY COMMUNICATION	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596337669	08/24/2023	55.04	50966	.00	0	
Total 2254640361:							78.24		.00		
22-54640-510	CEMETERY PROPERTY INSUR	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	23.28	50915	.00	0	
Total 2254640510:							23.28		.00		
23-51110-251	ARPA SECURITY SAFETY CYB	1850	COMPUTER KNOW HOW L	INITIAL SETUP OF MICROSOFT 365, MIGRATION OF 73 MAILBOXES, GOOGLE MIGRATION	39190	08/10/2023	5,950.00	50830	.00	0	

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Total 2351110251:							5,950.00		.00		
23-57960-821	ARPA CITY HALL BUILDING UP	2942	JEFF'S PLUMBING & HEAT	1ST INSTALLMENT PLUMBING FOR BREAKROOM	2023 ARPA	08/24/2023	2,000.00	50934	.00	0	
Total 2357960821:							2,000.00		.00		
25-57900-210	Professional Services	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	1,000.00	50983	.00	0	
Total 2557900210:							1,000.00		.00		
25-57900-801	Land Acquisition/Right of Way	5160	CITY OF EVANSVILLE	W&L FOR 170 E CHURCH/30250001	30-2500-01-0	08/15/2023	46.93	50874	.00	0	
25-57900-801	Land Acquisition/Right of Way	5160	CITY OF EVANSVILLE	W&L FOR 170 E CHURCH/12193001	12-1930-01-0	08/15/2023	7.39	50874	.00	0	
25-57900-801	Land Acquisition/Right of Way	5160	CITY OF EVANSVILLE	W&L FOR 170 E CHURCH/12195001	12-1950-01-0	08/15/2023	16.37	50874	.00	0	
Total 2557900801:							70.69		.00		
25-57900-802	Landscaping	9170	FORMECOLOGY LLC	TIF 5 LANDSCAPING	2023-50% D	08/24/2023	7,605.00	50925	.00	0	
Total 2557900802:							7,605.00		.00		
26-57900-210	Professional Services	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	1,000.00	50983	.00	0	
Total 2657900210:							1,000.00		.00		
28-57900-210	Professional Services	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	1,000.00	50983	.00	0	
Total 2857900210:							1,000.00		.00		
29-57900-210	Professional Services	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	1,000.00	50983	.00	0	
Total 2957900210:							1,000.00		.00		
30-48130-530	INT SPEC ASSESS & SPEC CH	922667	BRABAZON TITLE TEAM	OVERPAID INTEREST ON SPECIAL ASSESSMENT REQUEST RR317374	2023 SA	08/24/2023	298.72	50908	.00	0	
Total 3048130530:							298.72		.00		
40-53300-802	PW Landscaping/Sidewalk Prog	922842	UNION PACIFIC RAILROD	JOB 001 PUBLIC PROJECTS ENGINEERING	90128027	08/31/2023	939.18	50994	.00	2023013	
40-53300-802	PW Landscaping/Sidewalk Prog	922900	OLSSON	UPRR MADISON ST EVANSVILLE WI 177911U	452949	08/31/2023	241.25	50987	.00	2023013	
40-53300-802	PW Landscaping/Sidewalk Prog	922900	OLSSON	UPRR MADISON ST EVANSVILLE WI 177911U	461781	08/31/2023	498.00	50987	.00	2023013	

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Total 4053300802:							1,678.43		.00		
40-53300-860	PW Road Construction	4990	TOWN & COUNTRY ENGIN	2022 STREET & UTILITY IMPROVEMENTS	25600	08/24/2023	745.13	50965	.00	2022301	
Total 4053300860:							745.13		.00		
40-55720-803	Park Improvements	5760	MSA PROFESSIONAL SER	PROJECT-R09342007.0, PARK & POOL DESIGN	R09342007.0	08/24/2023	2,608.46	50942	.00	2022001	
40-55720-803	Park Improvements	922777	CORPORATE CONTRACT	WEST SIDE PARK	22423-10	08/24/2023	146,682.13	50920	.00	2022001	
Total 4055720803:							149,290.59		.00		
40-55730-803	POOL Improvements	5760	MSA PROFESSIONAL SER	PROJECT-R09342007.0, PARK & POOL DESIGN	R09342007.0	08/24/2023	4,844.26	50942	.00	2022002	
40-55730-803	POOL Improvements	922777	CORPORATE CONTRACT	POOL RENOVATION	22423-10	08/24/2023	272,409.66	50920	.00	2022002	
Total 4055730803:							277,253.92		.00		
40-57960-890	COMPREHENSIVE PLAN	4990	TOWN & COUNTRY ENGIN	2023 GIS SUPPORT	25603	08/24/2023	245.00	50965	.00	2022017	
Total 4057960890:							245.00		.00		
43-54640-840	LEVY CEMETERY EQUIP PUR	922798	THE HOME DEPOT PRO IN	2X4-12FT SPF	2023-07-2	08/10/2023	5.32	50862	.00	2022011	
43-54640-840	LEVY CEMETERY EQUIP PUR	922798	THE HOME DEPOT PRO IN	2X6-14FT SPF	2023-07-2	08/10/2023	9.25	50862	.00	2022011	
43-54640-840	LEVY CEMETERY EQUIP PUR	922798	THE HOME DEPOT PRO IN	2X6-10FT SPF	2023-07-2	08/10/2023	31.68	50862	.00	2022011	
Total 4354640840:							46.25		.00		
60-53500-210	WWTP PROFESSIONAL SERVI	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	2,500.00	50983	.00	0	
Total 6053500210:							2,500.00		.00		
60-53500-214	WWTP LABORATORY SERVIC	8901	AGSOURCE COOP SERVI	BOD-5DAY/CHLORIDE/LAB FILTRATION/NITROGEN,PHOSPHORU S, SOLIDS	PS-INV2855	08/10/2023	43.50	50820	.00	0	
60-53500-214	WWTP LABORATORY SERVIC	8901	AGSOURCE COOP SERVI	BOD-5DAY/CHLORIDE/LAB FILTRATION/NITROGEN,PHOSPHORU S, SOLIDS	PS-INV2881	08/24/2023	415.10	50900	.00	0	
60-53500-214	WWTP LABORATORY SERVIC	8901	AGSOURCE COOP SERVI	BOD-5DAY/CHLORIDE/LAB FILTRATION/NITROGEN,PHOSPHORU S, SOLIDS	PS-INV2888	08/24/2023	43.50	50900	.00	0	
Total 6053500214:							502.10		.00		

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60-53500-215	SLUDGE HAULING	5104	UNITED LIQUID WASTE RE	CAKE WASTE PICK UP	43236	08/15/2023	560.00	50893	.00	0	
Total 6053500215:							560.00		.00		
60-53500-251	WWTP IT MAINT & REPAIR	1850	COMPUTER KNOW HOW L	WWTP SERVER MAINT. BACKUP SUPPORT	BDR-0823	08/15/2023	16.05	50875	.00	0	
Total 6053500251:							16.05		.00		
60-53500-310	WWTP GEN OFFICE SUPPLIE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	.01	50929	.00	0	
60-53500-310	WWTP GEN OFFICE SUPPLIE	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	.04	50929	.00	0	
60-53500-310	WWTP GEN OFFICE SUPPLIE	9017	US BANK	AMAZON TONER	3774-0715	08/10/2023	113.92	20132100	.00	0	
Total 6053500310:							113.97		.00		
60-53500-340	WWTP GENERAL PLANT SUPP	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	13.45	50919	.00	0	
Total 6053500340:							13.45		.00		
60-53500-343	WWTP FUEL	922831	CONSUMERS COOP OIL C	DPW - FUEL	154771-07	08/24/2023	44.44	50919	.00	0	
Total 6053500343:							44.44		.00		
60-53500-355	WWTP PLANT MAINT & REPAI	1060	EVANSVILLE HARDWARE	DRY LINE CORRECTION TAPE, STICK PENS BLK, TOILET BOWL CLNR CLING	200030-0723	08/10/2023	10.37	50835	.00	0	
60-53500-355	WWTP PLANT MAINT & REPAI	3456	MID-STATE EQUIPMENT	CAP	I39622	08/15/2023	10.61	50886	.00	0	
60-53500-355	WWTP PLANT MAINT & REPAI	9017	US BANK	FARM & FLEET 10 DRAWER CABINET, FLEX HEAD, TAPE MEASURE, WRENCH SET, DRILL & DRIVER	1069-0724	08/10/2023	1,077.60	20132100	.00	0	
60-53500-355	WWTP PLANT MAINT & REPAI	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION WWTP	R041041818-	08/01/2023	1,149.93	50791	.00	0	
60-53500-355	WWTP PLANT MAINT & REPAI	922899	GASVODA & ASSOCIATES	SPARE PARTS KIT/VALVE SPRINGS	60297	08/24/2023	752.26	50927	.00	0	
Total 6053500355:							3,000.77		.00		
60-53500-361	WWTP COMMUNICATIONS	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	43.08	20132100	.00	0	
60-53500-361	WWTP COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0073902070	08/01/2023	144.97	50774	.00	0	
60-53500-361	WWTP COMMUNICATIONS	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0073902080	08/24/2023	144.97	50914	.00	0	
60-53500-361	WWTP COMMUNICATIONS	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596337669	08/24/2023	43.32	50966	.00	0	
60-53500-361	WWTP COMMUNICATIONS	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596337669	08/24/2023	41.26	50966	.00	0	
Total 6053500361:							417.60		.00		
60-53500-362	WWTP ELECTRIC/WATER EXP	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	5,122.51	20132105	.00	0	

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Total 6053500362:							5,122.51		.00		
60-53500-363	WWTP NATURAL GAS EXP	5600	WE ENERGIES	MONTHLY GAS SERVICE	00008-0723	08/10/2023	27.72	50864	.00	0	
Total 6053500363:							27.72		.00		
60-53500-510	WWTP PROPERTY INSURANC	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	2,737.24	50915	.00	0	
Total 6053500510:							2,737.24		.00		
60-53510-350	SAN SEWER MAINT & REPAIR	9149	RESCO	FLAG, GREEN 4X5 24" WIRE SEWER	903451-00	08/24/2023	512.80	50957	.20	0	
Total 6053510350:							512.80		.20		
60-53510-850	STREET RECONSTRUCTION	4990	TOWN & COUNTRY ENGIN	2022 STREET & UTILITY IMPROVEMENTS	25600	08/24/2023	1,271.11	50965	.00	2022301	
Total 6053510850:							1,271.11		.00		
60-53520-355	LIFT STATION MAINT & REPAI	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION MAIN LIFT STATION	R041041819-	08/01/2023	986.72	50791	.00	0	
60-53520-355	LIFT STATION MAINT & REPAI	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION#1	R041041823-	08/01/2023	938.83	50791	.00	0	
60-53520-355	LIFT STATION MAINT & REPAI	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION #2	R041041824-	08/01/2023	837.98	50791	.00	0	
60-53520-355	LIFT STATION MAINT & REPAI	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION	R041041825-	08/01/2023	922.37	50791	.00	0	
60-53520-355	LIFT STATION MAINT & REPAI	2877	INTERSTATE POWER SYS	REPLACE CONTROL BOARD ON KOHLER PORTABLE GENERATOR	R041042600-	08/24/2023	2,613.76	50931	.00	0	
Total 6053520355:							6,299.66		.00		
60-53520-360	LIFT STATION UTILITIES	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	1,150.53	20132105	.00	0	
60-53520-360	LIFT STATION UTILITIES	5600	WE ENERGIES	MONTHLY GAS SERVICE	00006-0723	08/10/2023	13.29	50864	.00	0	
Total 6053520360:							1,163.82		.00		
61-53580-200	MAINTENANCE AND REPAIRS	9389	AMERICAN IND STEEL & S	ALUM ANGLE 2 X 2 X 1/4 CUT	8827	08/24/2023	262.08	50901	.00	0	
61-53580-200	MAINTENANCE AND REPAIRS	9389	AMERICAN IND STEEL & S	AP112S40DROP	8827	08/24/2023	420.00	50901	.00	0	
61-53580-200	MAINTENANCE AND REPAIRS	9389	AMERICAN IND STEEL & S	ALUMINUM SQUARE TUBE 2X1/8 DROP	8846	08/24/2023	10.00	50901	.00	0	
Total 6153580200:							692.08		.00		
61-53580-210	PROFESSIONAL SERVICES	2151	EHLERS PUBLIC FINANCE	2023 FINANCIAL MANAGEMENT PLAN	94693	08/24/2023	2,000.00	50924	.00	0	
61-53580-210	PROFESSIONAL SERVICES	922883	GANNETT MEDIA CORP	RECRUITMENT AD	0005717792	08/01/2023	148.85	50784	.00	0	

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Total 6153580210:							2,148.85		.00		
61-53580-301	WATERWAY MAINTENANCE	9433	JEWELL ASSOC ENGINEE	LAKE LEOTA DAM REPAIRS	14926	08/24/2023	360.00	50935	.00	2023020	
Total 6153580301:							360.00		.00		
61-53580-510	STORMWATER PROPERTY IN	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	39.68	50915	.00	0	
Total 6153580510:							39.68		.00		
61-53580-850	STWT ROAD CONSTRUCTION	4990	TOWN & COUNTRY ENGIN	2022 STREET & UTILITY IMPROVEMENTS	25600	08/24/2023	876.63	50965	.00	2022301	
Total 6153580850:							876.63		.00		
62-1107002	CONSTRUCTION WIP	5519	WICKERSHAM CONSTRUC	SIDEWALK AND BALLARD REPAIR BY NELSON YOUNG LUMBER CO	2023-0623	08/24/2023	1,500.00	50971	.00	0	23-25-0010-E-1
Total 621107002:							1,500.00		.00		
62-2221000	Current Portion, L-T Debt	5520	WPPI ENERGY	AMI PROJECT LOAN PAYMENT	42-72023	08/10/2023	2,536.72	20132103	.00	0	
Total 622221000:							2,536.72		.00		
62-2228011	DNR LEAD REPLACEMENT GR	4422	SCHLITTLER CONSTRUCT	SERVICE MAINT-130 HIGHLAND ST	11599	08/10/2023	6,105.00	50857	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT-409 S. 1ST STREET	LUSIAN	08/10/2023	2,000.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT-408 SOUTH 1ST STREET	FORWARD	08/10/2023	3,350.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT-235 SOUTH 2ND STREET	GULLICKSO	08/10/2023	2,700.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT-429 S. 2ND STREET	DAMON	08/10/2023	3,500.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT - 9 WEST LIBERTY STREET	62923	08/10/2023	3,250.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	2565	G FOX & SON INC	LATERAL REPLACEMENT - 225 W. LIBERTY STREET	62923	08/10/2023	3,500.00	50838	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	922200	FORWARD INVESTMENT P	LEAD REPLACEMENT 408 S. 1ST STREET	2023-08	08/15/2023	2,000.00	50879	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	922890	SETH SCHULZ	WATER LATERAL REPLACEMENT	32812	08/10/2023	2,000.00	50858	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	922892	STEVE DAMON	LEAD REPLACEMENT	2023-08	08/15/2023	2,000.00	50890	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	922893	KENNETH & CYNTHIA LUS	LEAD REPLACEMENT	2023-08	08/15/2023	2,000.00	50883	.00	0	
62-2228011	DNR LEAD REPLACEMENT GR	922894	HUNTER & MOLLY GULLIC	LEAD REPLACEMENT	2023-08	08/15/2023	2,000.00	50880	.00	0	

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Total 622228011:							34,405.00		.00		
62-2238010	FEDERAL WITHHOLDING TAX	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT FEDERAL WITHHOLDING TAX Pay Period: 7/28/2023	PR0728231	08/10/2023	21.03	20132098	.00	0	
62-2238010	FEDERAL WITHHOLDING TAX	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT FEDERAL WITHHOLDING TAX Pay Period: 8/11/2023	PR0811231	08/24/2023	21.03	20132106	.00	0	
Total 622238010:							42.06		.00		
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 7/28/2023	PR0728231	08/10/2023	48.33	20132098	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 7/28/2023	PR0728231	08/10/2023	702.04	20132098	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 7/28/2023	PR0728231	08/10/2023	164.18	20132098	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 7/28/2023	PR0728231	08/10/2023	164.18	20132098	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 8/11/2023	PR0811231	08/24/2023	48.33	20132106	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT SOCIAL SECURITY Pay Period: 8/11/2023	PR0811231	08/24/2023	745.99	20132106	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 8/11/2023	PR0811231	08/24/2023	174.46	20132106	.00	0	
62-2238040	OASI (FICA)	2442	FICA/FWT DEPOSIT - EFTP	SOC SEC/MED/FWT MEDICARE Pay Period: 8/11/2023	PR0811231	08/24/2023	174.46	20132106	.00	0	
Total 622238040:							2,221.97		.00		
62-2238050	WIS WITHHOLDING TAX	5550	WI DEPT OF REVENUE-EF	SWT STATE WITHHOLDING TAX Pay Period: 7/28/2023	PR0728231	08/10/2023	14.71	20132101	.00	0	
62-2238050	WIS WITHHOLDING TAX	5550	WI DEPT OF REVENUE-EF	SWT STATE WITHHOLDING TAX Pay Period: 8/11/2023	PR0811231	08/24/2023	14.71	20132109	.00	0	
Total 622238050:							29.42		.00		
62-51930-251	IT SERVICE AND EQUIPMENT	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	50.00	50910	.00	0	
Total 6251930251:							50.00		.00		
62-51935-001	MAINT GENERAL PLANT	1230	ARAMARK	MAT_NYLON/RUBBER 3X10/4X6/SERVICE CHARGE	6140226145	08/24/2023	53.70	50903	.00	0	
62-51935-001	MAINT GENERAL PLANT	1048	AIRGAS USA LLC	SPLGN 20' SPOOLMATE 200, WIRE MIG ER 4043 3/64" 1LB SO	9141063409	08/31/2023	733.81	50974	.00	0	
Total 6251935001:							787.51		.00		

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62-52622-002	OPER POWER PURCHASED F	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	3,672.40	20132105	.00	0	
Total 6252622002:							3,672.40		.00		
62-52625-002	MAINT PUMP BUILDINGS & EQ	3435	MENARD'S-JANESVILLE	WALL PACK 3000L BRZ	31473	08/24/2023	291.96	50937	.00	0	
Total 6252625002:							291.96		.00		
62-52631-002	OPER WATER TREATMENT CH	1060	EVANSVILLE HARDWARE	BATTERY ALKALINE AA30PK	200037-0723	08/10/2023	33.98	50835	.00	0	
62-52631-002	OPER WATER TREATMENT CH	3658	NORTHERN LAKE SERVIC	7 METHOD SOC	2311273	08/01/2023	1,623.52	50800	.00	0	
62-52631-002	OPER WATER TREATMENT CH	9017	US BANK	PIGGLY WIGGLY	9139-0707	08/10/2023	21.17	20132100	.00	0	
62-52631-002	OPER WATER TREATMENT CH	9218	WI STATE LABORATORY O	FLUORIDE/FLDFLUOR/HALOACETIC ACIDS IN WATER/VOCS BY GCMS- WATER	750072	08/15/2023	988.00	50897	.00	0	
62-52631-002	OPER WATER TREATMENT CH	3342	MARTELLE WATER TREAT	SODIUM HYPOCHLORITE BULK	25583	08/15/2023	1,025.15	50885	.00	0	
62-52631-002	OPER WATER TREATMENT CH	3342	MARTELLE WATER TREAT	HYDROFLUROSILICIC ACID BULK	25583	08/15/2023	360.76	50885	.00	0	
62-52631-002	OPER WATER TREATMENT CH	3342	MARTELLE WATER TREAT	AQUA MAG BULK	25583	08/15/2023	1,553.40	50885	.00	0	
62-52631-002	OPER WATER TREATMENT CH	3342	MARTELLE WATER TREAT	FUEL SURCHARGE	25583	08/15/2023	30.00	50885	.00	0	
Total 6252631002:							5,635.98		.00		
62-52651-002	MAINT MAINS	4990	TOWN & COUNTRY ENGIN	2022 STREET & UTILITY IMPROVEMENTS	25600	08/24/2023	1,490.26	50965	.00	2022301	
Total 6252651002:							1,490.26		.00		
62-52655-002	MAINT MAINTENANCE OF OT	2877	INTERSTATE POWER SYS	ANNUAL GENERATOR INSPECTION #2	R041041820-	08/01/2023	1,149.91	50791	.00	0	
62-52655-002	MAINT MAINTENANCE OF OT	2877	INTERSTATE POWER SYS	GENERATOR LABOR #3 WELL	R041041822-	08/01/2023	1,057.86	50791	.00	0	
Total 6252655002:							2,207.77		.00		
62-52902-002	OPER ACCOUNTING & COLLE	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	5,280.00	50983	.00	0	
62-52902-002	OPER ACCOUNTING & COLLE	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	65.17	50930	.00	0	
62-52902-002	OPER ACCOUNTING & COLLE	1234	APT US&C	ANNUAL MEMBERSHIP RENEWAL	27108	08/10/2023	47.70	50823	.00	0	
62-52902-002	OPER ACCOUNTING & COLLE	922882	SPYGLASS	COST REDUCTION/MOTHLY SAVINGS	24660	08/01/2023	19.80	50811	.00	0	
Total 6252902002:							5,412.67		.00		
62-52903-002	OPER READING & COLLECTIN	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	711.32	50842	.00	0	
62-52903-002	OPER READING & COLLECTIN	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	3.19	50842	.00	0	
62-52903-002	OPER READING & COLLECTIN	2880	INFOSEND INC	MAILING SERVICE/POSTAGE- STATEMENT	244737	08/15/2023	600.86	50881	.00	0	
62-52903-002	OPER READING & COLLECTIN	2880	INFOSEND INC	SUPPLIES	244737	08/15/2023	20.20-	50881	.00	0	
62-52903-002	OPER READING & COLLECTIN	2763	QUADIENT LEASING USA I	QUARTERLY LEASE							

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				PAYMENT-FINANCE	N10052454	08/10/2023	1.76	50855	.00	0	
62-52903-002	OPER READING & COLLECTIN	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	.46	50854	.00	0	
Total 6252903002:							1,297.39		.00		
62-52921-002	OPER OFFICE SUPPLIES & EX	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	6.89	50929	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	19.84	50929	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	9196	ANSER SERVICES	MINUTES	10395-08142	08/24/2023	157.50	50902	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	9209	DIGGERS HOTLINE INC	TICKETS FOR JULY	230 7 47501	08/15/2023	79.30	50877	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	1090	AT&T	MONTHLY AT&T CHARGES	6088822228	08/24/2023	11.00	50905	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	28.86	50855	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	7.57	50854	.00	0	
62-52921-002	OPER OFFICE SUPPLIES & EX	922883	GANNETT MEDIA CORP	RECRUITMENT AD	0005717792	08/01/2023	148.85	50784	.00	0	
Total 6252921002:							459.81		.00		
62-52924-002	OPER PROPERTY INSURANC	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	622.73	50915	.00	0	
Total 6252924002:							622.73		.00		
62-52930-002	OPER MISC GENERAL EXPEN	2380	THE EVANSVILLE REVIEW	MONTHLY PUBLICATION CHARGE	703	08/10/2023	78.75	50861	.00	0	
62-52930-002	OPER MISC GENERAL EXPEN	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	368.04	20132105	.00	0	
62-52930-002	OPER MISC GENERAL EXPEN	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	57.44	20132100	.00	0	
62-52930-002	OPER MISC GENERAL EXPEN	2151	EHLERS PUBLIC FINANCE	2023 FINANCIAL MANAGEMENT PLAN	94693	08/24/2023	2,000.00	50924	.00	0	
Total 6252930002:							2,504.23		.00		
62-52930-130	WATER SAFETY & PPE	5070	ULINE	DELUXE WRAPAROUND GLASSES-SMOKE	166566483	08/15/2023	60.14	50892	.00	0	
Total 6252930130:							60.14		.00		
62-52930-251	IT SERVICE & EQUIP	9017	US BANK	NEW PAGER PHONE	2200-0629	08/10/2023	132.56	20132100	.00	0	
62-52930-251	IT SERVICE & EQUIP	1850	COMPUTER KNOW HOW L	UTILITY-BUILING MAPPING	BDR-0823	08/15/2023	59.60	50875	.00	0	
62-52930-251	IT SERVICE & EQUIP	1850	COMPUTER KNOW HOW L	UTILITY-BUILING MAPPING	BDR-0823	08/15/2023	16.05	50875	.00	0	
Total 6252930251:							208.21		.00		
62-52935-002	MAINT MAINTENANCE OF GE	4874	THE SHOE BOX	SHOE ALLOWANCE-B WAY	85475	08/31/2023	216.00	50992	.00	0	
62-52935-002	MAINT MAINTENANCE OF GE	2545	FOOTVILLE ROCK & LIME	3/4" WASHED STONE	22/23-749	08/10/2023	84.92	50837	.00	0	

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Total 6252935002:							300.92		.00		
63-1107001	CONSTRUCTION WIP	1930	CRESCENT ELECTRIC SU	BARE-SD-4-SOL-CU-200R WIRE	S511634205.	08/24/2023	289.00	50921	.00	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	9149	RESCO	CONN H-TAP CU CF4040-1 4/0-2/0STR	3000026	08/24/2023	97.95	50957	.05	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	9149	RESCO	EPR 1/0STR220AL FN 16#14 DBSL 3RSJKT 275	300422	08/31/2023	41,486.45	50991	20.75	0	23-11-0008-E-1
63-1107001	CONSTRUCTION WIP	9149	RESCO	ROD GROUND COPPER 13 MIL 5/8"	903396-00	08/15/2023	2,196.90	50889	1.10	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	9149	RESCO	SWITCH DISCONNECT BYPASS 15KV P1	903396-00	08/15/2023	1,659.97	50889	.83	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	9149	RESCO	CLAMP GROUND ROD 1/2" TO 5/8" STAINLESS	903396-00	08/15/2023	97.45	50889	.05	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	90092	BORDER STATES ELECTRI	URL-17 LARSEN	926779093	08/24/2023	3,826.92	50906	.00	0	23-11-0014-M-1
63-1107001	CONSTRUCTION WIP	9369	STUART C IRBY CO	600 MCM CONNECTORS	S013587384.	08/24/2023	523.60	50963	.00	0	23-11-0008-E-1
63-1107001	CONSTRUCTION WIP	3457	MID-WEST TREE & EXCAV	E. MAIN BORE	21440	08/24/2023	1,342.00	50940	.00	0	23-12-0089-E-1
63-1107001	CONSTRUCTION WIP	3457	MID-WEST TREE & EXCAV	TRENCH	21440	08/24/2023	150.48	50940	.00	0	23-12-0089-E-1
63-1107001	CONSTRUCTION WIP	3457	MID-WEST TREE & EXCAV	RESTORATION	21440	08/24/2023	88.00	50940	.00	0	23-12-0089-E-1
63-1107001	CONSTRUCTION WIP	3487	MILLENNIUM	U GUARD ADAPTER, STEEL BOOT 5"	23-93857-1	08/15/2023	149.34	50887	.00	0	23-11-0048-M-1
63-1107001	CONSTRUCTION WIP	3487	MILLENNIUM	U-GUARD 5.00X5.00 GALVANIZED STEETL FLANGED	23-93857-1	08/15/2023	237.32	50887	.00	0	23-11-0048-M-1
Total 631107001:							52,145.38		22.78		
63-1143010	Other Accts Rec.-Solar Buyback	5520	WPPI ENERGY	RENEWABLE ENERGY VOLUME DISCOUNT	42-72023	08/10/2023	60.00	20132103	.00	0	
Total 631143010:							60.00		.00		
63-1150001	INVENTORY - ELECTRIC	8951	DALMARAY CONCRETE P	URD 1/0 TRANSFORMER BASEMENT	61682	08/15/2023	977.00	50876	.00	0	
63-1150001	INVENTORY - ELECTRIC	9208	CORE & MAIN LP	1-1/4X6 CURB BOX SPEEDY SLEEVE W/SNAP IN CAP	T410704	08/31/2023	876.00	50981	.00	0	
63-1150001	INVENTORY - ELECTRIC	9208	CORE & MAIN LP	1-1/4X12 CURB BOX SPEEDY SLEEVE WITH SNAP IN CAP	T410704	08/31/2023	525.90	50981	.00	0	
63-1150001	INVENTORY - ELECTRIC	9149	RESCO	WIRE, 1/0 STR AL 15KV URD PRI	300422	08/31/2023	26,185.94	50991	13.10	0	
63-1150001	INVENTORY - ELECTRIC	9149	RESCO	2" PETRO	300791	08/31/2023	4,947.52	50991	2.48	0	
Total 631150001:							33,512.36		15.58		
63-2238080	WI SALES TAX	5560	WISCONSIN DEPT OF REV	SALES USE TAX	2023-07 SAL	08/24/2023	31,716.93	20132112	.00	0	
Total 632238080:							31,716.93		.00		
63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - LUCILLE DARCELIN/ DISHWASHER	2023-07 REB	08/01/2023	25.00	50777	.00	0	
63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - JULIE SEBASTIAN/REFRIGERATOR	2023-REBAT	08/01/2023	25.00	50777	.00	0	

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63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - VICKIE LIDDICOAT/WASHER/DRYER	2023-REBAT	08/01/2023	50.00	50777	.00	0	
63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - MISTY GRAU DISHWASHER LG	2023-REBAT	08/15/2023	25.00	50874	.00	0	
63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - RANDALL JANIAK/AIR CONCITIONER	2023 REBAT	08/01/2023	25.00	50777	.00	0	
63-2253021	DFD CREDITS-PB-ENERGY C	5160	CITY OF EVANSVILLE	REBATES - ADAM DIMODICA DEHUMIDIFIR/WASHER	2023- REBAT	08/10/2023	50.00	50828	.00	0	
Total 632253021:							200.00		.00		
63-41400-001	OPERATING & OTHER REVEN	5560	WISCONSIN DEPT OF REV	SALES USE TAX-DISCOUNT	2023-07 SAL	08/24/2023	161.76-	20132112	.00	0	
Total 6341400001:							161.76-		.00		
63-41442-062	MUNICIPAL GREEN POWER	5520	WPPI ENERGY	GREEN POWER	42-72023	08/10/2023	524.00	20132103	.00	0	
Total 6341442062:							524.00		.00		
63-51408-011	LICENSE FEES & OTHER TAX	5715	WI DEPARMENT OF REVE	UTILITY-MUNICIPAL LHP INTEREST/PENALTY FEE	628684323	08/10/2023	746.62	50865	.00	0	
63-51408-011	LICENSE FEES & OTHER TAX	5715	WI DEPARMENT OF REVE	UTILITY-MUNICIPAL LHP INTEREST/PENALTY FEE	628684323	08/10/2023	60.00	50865	.00	0	
Total 6351408011:							806.62		.00		
63-51555-300	POWER PURCHASED	5520	WPPI ENERGY	PURCHASED POWER	42-72023	08/10/2023	673,224.21	20132103	.00	0	
Total 6351555300:							673,224.21		.00		
63-51582-300	OPER SUBSTATION EXPENSE	9133	FORSTER ELECTRICAL E	E02-22C EVA WEST & EAST BAY IMPROVE	24791	08/24/2023	240.00	50926	.00	2023023	
63-51582-300	OPER SUBSTATION EXPENSE	9133	FORSTER ELECTRICAL E	E02-22D UTL ADDITION PLANNING	24797	08/24/2023	3,223.75	50926	.00	2023023	
Total 6351582300:							3,463.75		.00		
63-51584-300	OPER UG LINE	9133	FORSTER ELECTRICAL E	E02-22E 5TH 59 DOT PROJECT	24741	08/24/2023	580.00	50926	.00	2023024	
63-51584-300	OPER UG LINE	9133	FORSTER ELECTRICAL E	E02-21C ELECTRIC CONSTRUCTION	24790	08/24/2023	1,377.50	50926	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317322	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317323	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317324	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317326	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317327	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317328	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317329	08/24/2023	25.00	50907	.00	2023024	

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63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317330	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317331	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317333	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317334	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317335	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317336	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317337	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317338	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317340	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317342	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317344	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317345	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317347	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317348	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317349	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317350	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922667	BRABAZON TITLE TEAM	DEED SEARCH	RR317351	08/24/2023	25.00	50907	.00	2023024	
63-51584-300	OPER UG LINE	922888	FIVE STAR ENERGY SERV	MISC: DUCT	004019	08/10/2023	7,852.00	50836	.00	0	
63-51584-300	OPER UG LINE	922897	WYSER ENGINEERING LL	DOWNTOWN ELECTRICAL INFRASTRUCTURE UPDATES	1	08/24/2023	5,947.50	50972	.00	2023024	
Total 6351584300:							16,357.00		.00		
63-51586-300	OPER METER EXPENSE	1808	CITY ELECTRIC SUPPLY	THHN-12-STR-WHT/BLK	JAN/024156	08/31/2023	77.37	50979	.00	0	
63-51586-300	OPER METER EXPENSE	1808	CITY ELECTRIC SUPPLY	1" KO STRAIGHT NM CONN	WB2/381719	08/15/2023	64.28	50873	.00	0	
Total 6351586300:							141.65		.00		
63-51588-300	MISC DISTRIBUTION EXPENS	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596368683	08/31/2023	21.83	50993	.00	0	
Total 6351588300:							21.83		.00		
63-51591-300	STRUCTURE MAINTENANCE	90092	BORDER STATES ELECTRI	ANCHOR BOLT	926711482	08/15/2023	230.79	50869	.00	0	
Total 6351591300:							230.79		.00		
63-51592-210	SUBSTATION MAINT PROF SE	9133	FORSTER ELECTRICAL E	E02-20E LARSON FARMS GENERATIONAL OPTIONS	24789	08/24/2023	365.00	50926	.00	0	
Total 6351592210:							365.00		.00		
63-51592-300	SUBSTATION MAINTENANCE	90092	BORDER STATES ELECTRI	UR-17 SUBSTATION	926779093	08/24/2023	13,734.75	50906	.00	0	

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
Total 6351592300:							13,734.75		.00		
63-51593-300	OH LINE MAINTENANCE	1060	EVANSVILLE HARDWARE	ADAPTER COAX F TO F	200037-0723	08/10/2023	13.99	50835	.00	0	
Total 6351593300:							13.99		.00		
63-51594-300	UG LINE MAINENANCE	1060	EVANSVILLE HARDWARE	40# SAKRETE CONC MIX, STAR CON LAG, SHEET ALUM	200037-0723	08/10/2023	48.17	50835	.00	0	
63-51594-300	UG LINE MAINENANCE	1060	EVANSVILLE HARDWARE	FILLER BONDO FIBRGLAS QT	200037-0723	08/10/2023	25.99	50835	.00	0	
63-51594-300	UG LINE MAINENANCE	90123	C&M HYDRAULIC TOOL S	3=PHASE GROUNDING ELBOW SET 15	017783-IN	08/24/2023	877.35	50911	.00	0	
63-51594-300	UG LINE MAINENANCE	9149	RESCO	LABEL N.O. 3X6 GREEN TEXT/SILVER BKGRD	903452-00	08/24/2023	159.61	50957	.07	0	
63-51594-300	UG LINE MAINENANCE	9209	DIGGERS HOTLINE INC	TICKETS FOR JULY	230 7 47501	08/15/2023	79.30	50877	.00	0	
63-51594-300	UG LINE MAINENANCE	90092	BORDER STATES ELECTRI	CPR-CC2C0 CU-TOP 200A 1/0-2/0	926822276	08/31/2023	236.60	50976	.00	0	
63-51594-300	UG LINE MAINENANCE	922881	USIC LOCATING SERVICE	FUEL SURCHARGE	597057FS	08/01/2023	75.30	50817	.00	0	
63-51594-300	UG LINE MAINENANCE	922881	USIC LOCATING SERVICE	AFTER HOURS	603510	08/15/2023	80.00	50894	.00	0	
63-51594-300	UG LINE MAINENANCE	922881	USIC LOCATING SERVICE	PER TICKET	603510	08/15/2023	1,491.00	50894	.00	0	
63-51594-300	UG LINE MAINENANCE	922881	USIC LOCATING SERVICE	PROJECT TIME	603510	08/15/2023	2,700.00	50894	.00	0	
63-51594-300	UG LINE MAINENANCE	922881	USIC LOCATING SERVICE	FUEL SURCHARGE	603510FS	08/31/2023	43.20	50995	.00	0	
Total 6351594300:							5,816.52		.07		
63-51597-300	MAINT METERS	1808	CITY ELECTRIC SUPPLY	THHN-14-SOL-HT/BLK-CU500/R	JAN/024087	08/24/2023	64.10	50916	.00	0	
Total 6351597300:							64.10		.00		
63-51902-210	ACCT & COLLETING PROF SE	2938	JOHNSON BLOCK & COMP	AUDITING SERVICES	510193	08/31/2023	5,000.00	50983	.00	0	
Total 6351902210:							5,000.00		.00		
63-51902-300	ACCT & COLLECTING EXPENS	7605	GREATAMERICA FINANCIA	4 LINE PHONE SYSTEM & VOIP	34515163	08/24/2023	121.03	50930	.00	0	
63-51902-300	ACCT & COLLECTING EXPENS	922882	SPYGLASS	COST REDUCTION/MONTHLY SAVINGS	24660	08/01/2023	36.78	50811	.00	0	
Total 6351902300:							157.81		.00		
63-51902-361	COMMUNICATION EXPENSE	9017	US BANK	GOOGLE GSUITE	6123-0701	08/10/2023	143.60	20132100	.00	0	
63-51902-361	COMMUNICATION EXPENSE	5035	U S CELLULAR	MONTHLY CELL PHONE SERVICE	0596354128	08/24/2023	18.00	50966	.00	0	
Total 6351902361:							161.60		.00		
63-51903-300	BILLING SUPLIES AND EXPEN	5520	WPPI ENERGY	SUPPORT SERVICES JULY	42-72023	08/10/2023	2,774.34	20132103	.00	0	

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	1,321.02	50842	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	5.92	50842	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	INSERT-ENERGY STAR REBATE	242671	08/10/2023	67.62	50842	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	MAILING SERVICE/POSTAGE-STATEMENT	244737	08/15/2023	1,115.87	50881	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	SUPPLIES	244737	08/15/2023	25.71	50881	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2880	INFOSEND INC	OTHER	244737	08/15/2023	475.11	50881	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	6.25	50855	.00	0	
63-51903-300	BILLING SUPLIES AND EXPEN	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	1.64	50854	.00	0	
Total 6351903300:							5,793.48		.00		
63-51920-210	ADMINISTRATIVE PRO SERVI	2151	EHLERS PUBLIC FINANCE	2023 FINANCIAL MANAGEMENT PLAN	94693	08/24/2023	2,000.00	50924	.00	0	
63-51920-210	ADMINISTRATIVE PRO SERVI	4990	TOWN & COUNTRY ENGIN	TDS FIBER BUILDOUT SUPPORT	25602	08/24/2023	200.00	50965	.00	0	
63-51920-210	ADMINISTRATIVE PRO SERVI	922883	GANNETT MEDIA CORP	RECRUITMENT AD	0005717792	08/01/2023	148.84	50784	.00	0	
Total 6351920210:							2,348.84		.00		
63-51921-300	OFFICE SUPPLIES & EXPENS	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14316939	08/24/2023	7.01	50929	.00	0	
63-51921-300	OFFICE SUPPLIES & EXPENS	2540	GORDON FLESCH CO INC	MONTHLY COPIER CHARGES	IN14328304	08/24/2023	20.18	50929	.00	0	
63-51921-300	OFFICE SUPPLIES & EXPENS	2763	QUADIENT LEASING USA I	QUARTERLY LEASE PAYMENT-FINANCE	N10052454	08/10/2023	50.61	50855	.00	0	
63-51921-300	OFFICE SUPPLIES & EXPENS	2763	QUADIENT FINANCE USA I	MONTHLY POSTAGE	2023-07	08/10/2023	13.27	50854	.00	0	
Total 6351921300:							91.07		.00		
63-51921-361	COMMUNICATION EXPENSE	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0052351073	08/24/2023	23.00	50914	.00	0	
63-51921-361	COMMUNICATION EXPENSE	9196	ANSER SERVICES	BASE RATE	10395-08142	08/24/2023	292.50	50902	.00	0	
Total 6351921361:							315.50		.00		
63-51924-300	PROPERTY INSURANCE	921737	CHUBB & SON	PROPERTY INSURANCE-QUARTERLY INSTALLMENT	QTR 1 23-24	08/24/2023	1,156.48	50915	.00	0	
Total 6351924300:							1,156.48		.00		
63-51926-131	CLOTHNG ALLOWANCE	4730	CHASE STIKLESTAD	FR CLOTHES	2023-07	08/01/2023	205.00	50775	.00	0	
Total 6351926131:							205.00		.00		
63-51928-300	REGULATORY EXPENSE	90925	PUBLIC SERVICE COMMIS	1880-ER-107 ELEC RATE CASE/TIME OF DAY RATES	2036-I-01880	08/01/2023	983.52	50804	.00	0	
63-51928-300	REGULATORY EXPENSE	90925	PUBLIC SERVICE COMMIS	1880-ER-107 ELEC RATE CASE/TIME OF DAY RATES	2307-I-0188	08/31/2023	1,479.35	50989	.00	0	

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
Total 6351928300:							2,462.87		.00		
63-51930-251	IT SERVICE AND EQUIPMENT	9017	US BANK	NEW PAGER PHONE	2200-0629	08/10/2023	246.18	20132100	.00	0	
63-51930-251	IT SERVICE AND EQUIPMENT	90606	RAILROAD MANAGEMENT	LICENSE FEES	487901	08/24/2023	662.31	50956	.00	0	
63-51930-251	IT SERVICE AND EQUIPMENT	90741	STOP PROCESSING CENT	SIGNUPS WITH ONE LINE ITEM WEBSITE SECURITY	20239	08/01/2023	52.26	50813	.00	0	
63-51930-251	IT SERVICE AND EQUIPMENT	1630	BYTE STUDIOS INC.	WEBSITE	1673	08/24/2023	50.00	50910	.00	0	
Total 6351930251:							1,010.75		.00		
63-51930-300	MISC GENERAL EXPENSES	2380	THE EVANSVILLE REVIEW	MONTHLY PUBLICATION CHARGE	703	08/10/2023	146.25	50861	.00	0	
63-51930-300	MISC GENERAL EXPENSES	1234	APT US&C	ANNUAL MEMBERSHIP RENEWAL	27108	08/10/2023	79.50	50823	.00	0	
Total 6351930300:							225.75		.00		
63-51930-330	PROFESSIONAL DEV/TRAININ	3560	MUNICIPAL ELECTRIC UTI	ACCOUNTING AND CUSTOMER SERVICE SEMINAR	4152	08/31/2023	350.00	50986	.00	0	
Total 6351930330:							350.00		.00		
63-51930-331	APPRENTICESHIP TRAINING	3656	NORTHEAST WI TECH CO	SUMMER TRAINING/P. SCHMELING	SFT0000125	08/10/2023	216.00	50851	.00	0	
63-51930-331	APPRENTICESHIP TRAINING	9017	US BANK	RADISON HOTEL & CONFE	9139-0720	08/10/2023	396.00	20132100	.00	0	
Total 6351930331:							612.00		.00		
63-51930-340	TOOL AND EQUIPMENT	1060	EVANSVILLE HARDWARE	LYNCH PIN, SHOVEL RND PNT, UNTHREAD ROD	200037-0723	08/10/2023	56.28	50835	.00	0	
63-51930-340	TOOL AND EQUIPMENT	1060	EVANSVILLE HARDWARE	EXTENSION BAR, SAE DP SKT, 6" EXTENSION BAR, ALUMN FLT BAR	200037-0723	08/10/2023	44.56	50835	.00	0	
63-51930-340	TOOL AND EQUIPMENT	1060	EVANSVILLE HARDWARE	20V MAX JBSITE LED LIGHT	200037-0723	08/10/2023	109.99	50835	.00	0	
63-51930-340	TOOL AND EQUIPMENT	9017	US BANK	AMAZON MILWAUKEE AH BATTERIES	9139-0713	08/10/2023	271.98	20132100	.00	0	
63-51930-340	TOOL AND EQUIPMENT	9017	US BANK	AMAZON MILWAUKEE 2865-20 M18 FUEL 7/16 IN HEX UTILITY	9139-0714	08/10/2023	369.00	20132100	.00	0	
63-51930-340	TOOL AND EQUIPMENT	90123	C&M HYDRAULIC TOOL S	6T IN-LINE BG/D3 ASCR 5AH AC	0176434-IN	08/24/2023	3,030.82	50911	.00	0	
63-51930-340	TOOL AND EQUIPMENT	90123	C&M HYDRAULIC TOOL S	GROUND SET, URD	0177616-IN	08/01/2023	1,104.93	50773	.00	0	
63-51930-340	TOOL AND EQUIPMENT	90123	C&M HYDRAULIC TOOL S	TOOL BAG 16" W/REGULAR CANVAS	0177616-IN	08/01/2023	74.01	50773	.00	0	
63-51930-340	TOOL AND EQUIPMENT	90123	C&M HYDRAULIC TOOL S	15KV UNDERGROUND DISTRIBUTION	0177729-IN	08/15/2023	1,404.18	50870	.00	0	
63-51930-340	TOOL AND EQUIPMENT	4425	SCHMELING, PAUL	REIMB MEALS-TRAINING	2023-07	08/01/2023	150.57	50808	.00	0	
63-51930-340	TOOL AND EQUIPMENT	4425	SCHMELING, PAUL	REIMB MILEAGE-TRAINING	2023-07	08/01/2023	232.83	50808	.00	0	
Total 6351930340:							6,849.15		.00		
63-51930-343	TRANSPORTATION FUEL	922831	CONSUMERS COOP OIL C	W&I - FUEL	154798-0723	08/31/2023	1,430.82	50980	.00	0	

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
Total 6351930343:							1,430.82		.00		
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	INSULATED ANNUAL AERIAL INSPECTION	0075722-IN	08/24/2023	725.00	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	DIELECRIC TEST OF LINER	0075722-IN	08/24/2023	75.00	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	DIELECTRIC TEST OF JIB	0075722-IN	08/24/2023	75.00	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	AERIAL ROTATION BERING BOLT TORQUE	0075722-IN	08/24/2023	135.00	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	FILTER RETURN 10 MIC SPIN-ON	0075722-IN	08/24/2023	31.38	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	9173	UTILITY SALES & SERVICE	TEE JIC SWIVEL RUN	0075722-IN	08/24/2023	8.15	50967	.00	0	
63-51930-350	TRANSPORTATION MAINTENA	3409	DITCH WITCH MIDWEST	LT ROLLER ASSY, 3.75 SHAFT, JAM NUT	PSO140963-	08/15/2023	412.49	50878	.00	0	
Total 6351930350:							1,462.02		.00		
63-51930-392	PUBLIC RELATIONS AND ADV	1240	THRYV	AT&T YEL PAGES ADVERTISING-W&L	800370196-0	08/15/2023	15.71	50891	.00	0	
Total 6351930392:							15.71		.00		
63-51932-300	BUILDING AND PLANT MAINTENANCE	1060	EVANSVILLE HARDWARE	CLORX CLEAN UP FREASH, TB CLNR LYSOL, LYSOL DSNFCTNG WIPS, COTON MOPHEAD	200037-0723	08/10/2023	35.96	50835	.00	0	
63-51932-300	BUILDING AND PLANT MAINTENANCE	1230	ARAMARK	MAT_NYLON/RUBBER 3X10/4X6/SERVICE CHARGE	6140218410	08/10/2023	53.70	50824	.00	0	
63-51932-300	BUILDING AND PLANT MAINTENANCE	1776	CINTAS CORPORATION	RESTOCK MEDICINE CABINET	8406355161	08/15/2023	99.83	50872	.00	0	
63-51932-300	BUILDING AND PLANT MAINTENANCE	3435	MENARD'S-JANESVILLE	46" LED SHPLT NONLNK 3200	29481	08/24/2023	17.99	50937	.00	0	
63-51932-300	BUILDING AND PLANT MAINTENANCE	3435	MENARD'S-JANESVILLE	12 GAL 5.5 HP POLY VAC, ANGEL SOFT, PAPER TOWELS, DEC STAR, DRIVE CABLE TIE	31473	08/24/2023	170.88	50937	.00	0	
63-51932-300	BUILDING AND PLANT MAINTENANCE	1048	AIRGAS USA LLC	SPLGN 20' SPOOLMATE 200, WIRE MIG ER 4043 3/34" 1LB SO	9141063409	08/31/2023	733.81	50974	.00	0	
Total 6351932300:							1,112.17		.00		
63-51932-360	BUILDING & PLANT UTILITY C	5160	CITY OF EVANSVILLE	MONTHLY ELECTRIC	2023-07	08/24/2023	846.41	20132105	.00	0	
63-51932-360	BUILDING & PLANT UTILITY C	5600	WE ENERGIES	MONTHLY GAS SERVICE	00004-0723	08/10/2023	9.57	50864	.00	0	
63-51932-360	BUILDING & PLANT UTILITY C	5600	WE ENERGIES	MONTHLY GAS SERVICE	00009-0723	08/15/2023	260.66	50895	.00	0	
63-51932-360	BUILDING & PLANT UTILITY C	1730	CHARTER COMMUNICATI	MONTHLY CHARTER SERVICE	0052369073	08/15/2023	116.97	50871	.00	0	
Total 6351932360:							1,233.61		.00		
63-51932-821	BUILDING & PLANT IMPROVE	1060	EVANSVILLE HARDWARE	LANDSCAPE FABRIC	200037-0723	08/10/2023	22.99	50835	.00	0	
Total 6351932821:							22.99		.00		

Invoice GL Account	Invoice GL Account Title	Vendor Number	Payee	Description	Invoice Number	Check Issue Date	Check Amount	Check Number	Discount Taken	GL Activity#	Job Number
Grand Totals:							<u>1,837,919.58</u>		<u>38.63</u>		



SERVICE ORDER

THIS SERVICE ORDER ("Service Order"), is executed and effective upon the date of the signature set forth in the signature block below ("Effective Date") and is by and between Charter Communications Operating, LLC on behalf of those operating subsidiaries providing the Service(s) hereunder ("Spectrum") and Customer (as shown below) and is governed by and subject to the Contract for Wide Area Network (WAN) & Internet Services, Contract # 505ENT-M23-NTWRKSRVCS-02 with an Effective Date of February 22, 2023 (the "Agreement"). Except as specifically modified herein, all other terms and conditions of the Agreement shall remain unamended and in full force and effect.

Spectrum Enterprise Contact Information
Contact: Craig Thompson Telephone: 4143356679 Email: craig.thompson2@charter.com

Customer Information		
Customer Name CITY OF EVANSVILLE	Order # 13179370	
Address 31 S MADISON ST EVANSVILLE WI 53536		
Telephone (608) 882-2285	Email: jason.sergeant@ci.evansville.wi.gov	
Contact Name Jason Sergeant	Telephone (608) 882-2285	Email: jason.sergeant@ci.evansville.wi.gov
Billing Address 31 S MADISON ST EVANSVILLE WI 53536		
Billing Contact Name	Telephone	Email:

NEW AND REVISED SERVICES AT 31 S Madison St , Evansville WI 53536				
Service Description	Order Term	Quantity	Monthly Recurring Charge(s)	Total Monthly Recurring Charge(s)
Static IP 5	24 Months	1	\$0.00	\$0.00
Fiber Internet 50Mbps	24 Months	1	\$500.00	\$500.00
TOTAL*				\$500.00

ONE TIME CHARGE(S) AT 31 S Madison St , Evansville WI 53536			
Service Description	Quantity	One Time Charge(s)	Total One Time Charge(s)
FIA Installation	1	\$0.00	\$0.00
TOTAL*			\$0.00



1. **TOTAL CHARGE(S).** Total Monthly Recurring Charges and Total One-Time Charges are due in accordance with the monthly invoice.
2. **TAXES.** Plus applicable taxes, fees, and surcharges as presented on the respective invoice(s).
3. **SPECIAL TERMS.**

By signing below, the signatory represents they are duly authorized to execute this Service Order.

<p>CUSTOMER SIGNATURE</p> <p>Signature: _____</p> <p>Printed Name: _____</p> <p>Title: _____</p> <p>Date: _____</p>
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CITY OF EVANSVILLE
Resolution No. 2023-26

INITIAL RESOLUTION AUTHORIZING
\$200,000 GENERAL OBLIGATION BONDS FOR PARKS
AND PUBLIC GROUNDS PROJECTS

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$200,000 for the public purpose of paying the cost of parks and public grounds projects.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-27

INITIAL RESOLUTION AUTHORIZING
\$215,000 GENERAL OBLIGATION BONDS
FOR STREET IMPROVEMENT PROJECTS

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$215,000 for the public purpose of paying the cost of street improvement projects.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-28

INITIAL RESOLUTION AUTHORIZING
\$155,000 GENERAL OBLIGATION BONDS
FOR SEWERAGE PROJECTS

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$155,000 for the public purpose of paying the cost of sewerage projects consisting of storm sewer projects.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-29

INITIAL RESOLUTION AUTHORIZING
\$25,000 GENERAL OBLIGATION BONDS
FOR THE CONSTRUCTION OF POLICE FACILITIES

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$25,000 for the public purpose of paying the cost of constructing police facilities.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-30

INITIAL RESOLUTION AUTHORIZING
\$365,000 GENERAL OBLIGATION BONDS
FOR SWIMMING POOL PROJECTS

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$365,000 for the public purpose of paying the cost of swimming pool projects.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-31

INITIAL RESOLUTION AUTHORIZING
\$14,470,000 GENERAL OBLIGATION REFUNDING BONDS

BE IT RESOLVED by the Common Council of the City of Evansville, Rock County, Wisconsin, that there shall be issued, pursuant to Chapter 67, Wisconsin Statutes, general obligation bonds in an amount not to exceed \$14,470,000 for the public purpose of paying the cost of refunding obligations of the City, including interest on them.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
Resolution No. 2023-32

RESOLUTION DIRECTING PUBLICATION OF NOTICE TO ELECTORS
RELATING TO BOND ISSUES

WHEREAS, initial resolutions authorizing general obligation bonds have been adopted by the Common Council of the City of Evansville, Rock County, Wisconsin (the "City") and it is now necessary that said initial resolutions be published to afford notice to the residents of the City of their adoption;

NOW, THEREFORE, BE IT RESOLVED that the City Clerk shall, within 15 days, publish a notice to the electors in substantially the form attached hereto in the official City newspaper as a class 1 notice under ch. 985, Wis. Stats.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurtley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

CITY OF EVANSVILLE
RESOLUTION NO. 2023-33

RESOLUTION AUTHORIZING THE ISSUANCE AND
ESTABLISHING PARAMETERS FOR THE SALE OF NOT TO
EXCEED \$15,430,000 GENERAL OBLIGATION CORPORATE
PURPOSE BONDS, SERIES 2023A

WHEREAS, the Common Council of the City of Evansville, Rock County, Wisconsin (the "City") has heretofore adopted initial resolutions (the "Initial Resolutions") authorizing the issuance of general obligation bonds in the following not to exceed amounts for the following public purposes: \$200,000 for parks and public grounds projects; \$215,000 for street improvement projects; \$155,000 for sewerage projects consisting of storm sewer projects; \$25,000 for constructing police facilities; and \$365,000 for swimming pool projects (collectively, the "Project");

WHEREAS, within 15 days following the adoption of the Initial Resolutions, the City Clerk will cause a notice to electors to be published in the official newspaper of the City, stating the purpose and maximum principal amount of the bond issues authorized by the Initial Resolutions and describing the opportunity and procedure for submitting a petition requesting a referendum on the bond issues authorized by the Initial Resolutions;

WHEREAS, the time to file such a petition shall expire on October 12, 2023;

WHEREAS, the Common Council hereby finds and determines that the Project is within the City's power to undertake and therefore serves a "public purpose" as that term is defined in Section 67.04(1)(b), Wisconsin Statutes;

WHEREAS, on September 12, 2023, the Common Council of the City also adopted an initial resolution authorizing the issuance of general obligation bonds in an amount not to exceed \$14,470,000 for the public purpose of paying the cost of refunding obligations of the City, including interest on them (the "Refunding Initial Resolution");

WHEREAS, the obligation to be refunded is the Taxable Note Anticipation Note, Series 2022D, dated September 1, 2022 (the "Refunded Obligations") (hereinafter the refinancing of the Refunded Obligations shall be referred to as the "Refunding");

WHEREAS, the Common Council deems it to be necessary, desirable and in the best interest of the City to refund the Refunded Obligations for the purpose of providing permanent financing for the projects financed by the Refunded Obligations;

WHEREAS, the City is authorized by the provisions of Section 67.04, Wisconsin Statutes, to borrow money and issue general obligation refunding bonds for such public purposes and to refinance its outstanding obligations;

WHEREAS, the Common Council hereby combines the bond issues authorized by the Initial Resolutions and the Refunding Initial Resolution into a single issue of bonds to be

designated as "General Obligation Corporate Purpose Bonds, Series 2023A" (the "Bonds") for the purpose of paying the costs of the Project and the Refunding;

WHEREAS, it is the finding of the Common Council that it is in the best interest of the City to direct its financial advisor, Ehlers & Associates, Inc. ("Ehlers"), to take the steps necessary for the City to offer and sell the Bonds at public sale and to obtain bids for the purchase of the Bonds; and

WHEREAS, in order to facilitate the sale of the Bonds in a timely manner, the Common Council hereby finds and determines that it is necessary, desirable and in the best interest of the City to delegate to either the Mayor, City Administrator or City Treasurer/Utility Accountant (each, an "Authorized Officer") the authority to accept on behalf of the City the bid for the Bonds that results in the lowest true interest cost for the Bonds (the "Proposal") and meets the terms and conditions provided for in this Resolution by executing a certificate in substantially the form attached hereto as Exhibit A and incorporated herein by reference (the "Approving Certificate").

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City that:

Section 1. Authorization and Sale of the Bonds; Parameters. For the purpose of paying costs of the Project and the Refunding, the City is authorized to borrow pursuant to Section 67.04, Wisconsin Statutes, the principal sum of not to exceed FIFTEEN MILLION FOUR HUNDRED THIRTY THOUSAND DOLLARS (\$15,430,000) upon the terms and subject to the conditions set forth in this Resolution. Subject to satisfaction of the conditions set forth in Section 16 of this Resolution, the Mayor and City Clerk are hereby authorized, empowered and directed to make, execute, issue and sell to the financial institution that submitted the Proposal (the "Purchaser") for, on behalf of and in the name of the City, Bonds aggregating the principal amount of not to exceed FIFTEEN MILLION FOUR HUNDRED THIRTY THOUSAND DOLLARS (\$15,430,000). The amount of Bonds to be issued pursuant to each of the Initial Resolutions and the Refunding Initial Resolution shall be determined by an Authorized Officer and set forth in the Approving Certificate. The purchase price to be paid to the City for the Bonds shall not be less than 98.75% nor more than 110.00% of the principal amount of the Bonds.

Section 2. Terms of the Bonds. The Bonds shall be designated "General Obligation Corporate Purpose Bonds, Series 2023A"; shall be issued in the aggregate principal amount of up to \$15,430,000; shall be dated as of their date of issuance; shall be in the denomination of \$5,000 or any integral multiple thereof; shall be numbered R-1 and upward; and mature or be subject to mandatory redemption on the dates and in the principal amounts set forth below, provided that the principal amount of each maturity or mandatory redemption amount may be increased or decreased by up to \$300,000 per maturity or mandatory redemption amount and that the aggregate principal amount of the Bonds shall not exceed \$15,430,000. The schedule below assumes the Bonds are issued in the aggregate principal amount of \$15,430,000.

<u>Date</u>	<u>Principal Amount</u>
04-01-2024	\$ 75,000

<u>Date</u>	<u>Principal Amount</u>
04-01-2025	60,000
04-01-2026	150,000
04-01-2027	160,000
04-01-2028	\$ 250,000
04-01-2029	675,000
04-01-2030	590,000
04-01-2031	635,000
04-01-2032	985,000
04-01-2033	1,015,000
04-01-2034	995,000
04-01-2035	1,010,000
04-01-2036	1,010,000
04-01-2037	1,050,000
04-01-2038	1,090,000
04-01-2039	1,135,000
04-01-2040	1,135,000
04-01-2041	1,135,000
04-01-2042	1,135,000
04-01-2043	1,140,000

Interest shall be payable semi-annually on April 1 and October 1 of each year commencing on April 1, 2024. The true interest cost on the Bonds (computed taking the Purchaser's compensation into account) shall not exceed 4.50%. Interest shall be computed upon the basis of a 360-day year of twelve 30-day months and will be rounded pursuant to the rules of the Municipal Securities Rulemaking Board.

Section 3. Redemption Provisions. The Bonds shall not be subject to optional redemption or shall be callable as set forth on the Approving Certificate. If the Proposal specifies that certain of the Bonds shall be subject to mandatory redemption, the terms of such mandatory redemption shall be set forth on an attachment to the Approving Certificate labeled as Schedule MRP. Upon the optional redemption of any of the Bonds subject to mandatory redemption, the principal amount of such Bonds so redeemed shall be credited against the mandatory redemption payments established in the Approving Certificate in such manner as the City shall direct.

Section 4. Form of the Bonds. The Bonds shall be issued in registered form and shall be executed and delivered in substantially the form attached hereto as Exhibit B and incorporated herein by this reference.

Section 5. Tax Provisions.

(A) Direct Annual Irrepealable Tax Levy. For the purpose of paying the principal of and interest on the Bonds as the same becomes due, the full faith, credit and resources of the City are hereby irrevocably pledged, and there is hereby levied upon all of the taxable property of the City a direct annual irrepealable tax in the years 2023 through 2042 for

the payments due in the years 2024 through 2043 in the amounts as are sufficient to meet the principal and interest payments when due.

(B) Tax Collection. So long as any part of the principal of or interest on the Bonds remains unpaid, the City shall be and continue without power to repeal such levy or obstruct the collection of said tax until all such payments have been made or provided for. After the issuance of the Bonds, said tax shall be, from year to year, carried onto the tax roll of the City and collected in addition to all other taxes and in the same manner and at the same time as other taxes of the City for said years are collected, except that the amount of tax carried onto the tax roll may be reduced in any year by the amount of any surplus money in the Debt Service Fund Account created below.

(C) Additional Funds. If at any time there shall be on hand insufficient funds from the aforesaid tax levy to meet principal and/or interest payments on said Bonds when due, the requisite amounts shall be paid from other funds of the City then available, which sums shall be replaced upon the collection of the taxes herein levied.

Section 6. Segregated Debt Service Fund Account.

(A) Creation and Deposits. There shall be and there hereby is established in the treasury of the City, if one has not already been created, a debt service fund, separate and distinct from every other fund, which shall be maintained in accordance with generally accepted accounting principles. Debt service or sinking funds established for obligations previously issued by the City may be considered as separate and distinct accounts within the debt service fund.

Within the debt service fund, there hereby is established a separate and distinct account designated as the "Debt Service Fund Account for General Obligation Corporate Purpose Bonds, Series 2023A" (the "Debt Service Fund Account") and such account shall be maintained until the indebtedness evidenced by the Bonds is fully paid or otherwise extinguished. There shall be deposited into the Debt Service Fund Account (i) all accrued interest received by the City at the time of delivery of and payment for the Bonds; (ii) any premium not used for the Refunding which may be received by the City above the par value of the Bonds and accrued interest thereon; (iii) all money raised by the taxes herein levied and any amounts appropriated for the specific purpose of meeting principal of and interest on the Bonds when due; (iv) such other sums as may be necessary at any time to pay principal of and interest on the Bonds when due; (v) surplus monies in the Borrowed Money Fund as specified below; and (vi) such further deposits as may be required by Section 67.11, Wisconsin Statutes.

(B) Use and Investment. No money shall be withdrawn from the Debt Service Fund Account and appropriated for any purpose other than the payment of principal of and interest on the Bonds until all such principal and interest has been paid in full and the Bonds canceled; provided (i) the funds to provide for each payment of principal of and interest on the Bonds prior to the scheduled receipt of taxes from the next succeeding tax collection may be invested in direct obligations of the United States of America maturing in time to make such payments when they are due or in other investments permitted by law; and (ii) any funds over and above the amount of such principal and interest payments on the Bonds may be used to

reduce the next succeeding tax levy, or may, at the option of the City, be invested by purchasing the Bonds as permitted by and subject to Section 67.11(2)(a), Wisconsin Statutes, or in permitted municipal investments under the pertinent provisions of the Wisconsin Statutes ("Permitted Investments"), which investments shall continue to be a part of the Debt Service Fund Account. Any investment of the Debt Service Fund Account shall at all times conform with the provisions of the Internal Revenue Code of 1986, as amended (the "Code") and any applicable Treasury Regulations (the "Regulations").

(C) Remaining Monies. When all of the Bonds have been paid in full and canceled, and all Permitted Investments disposed of, any money remaining in the Debt Service Fund Account shall be transferred and deposited in the general fund of the City, unless the Common Council directs otherwise.

Section 7. Proceeds of the Bonds; Segregated Borrowed Money Fund. The proceeds of the Bonds (the "Bond Proceeds") (other than any premium not used for the Refunding and accrued interest which must be paid at the time of the delivery of the Bonds into the Debt Service Fund Account created above) shall be deposited into a special fund (the "Borrowed Money Fund") separate and distinct from all other funds of the City and disbursed solely for the purpose or purposes for which borrowed. Monies in the Borrowed Money Fund may be temporarily invested in Permitted Investments. Any monies, including any income from Permitted Investments, remaining in the Borrowed Money Fund after the purpose or purposes for which the Bonds have been issued have been accomplished, and, at any time, any monies as are not needed and which obviously thereafter cannot be needed for such purpose(s) shall be deposited in the Debt Service Fund Account.

Section 8. No Arbitrage. All investments made pursuant to this Resolution shall be Permitted Investments, but no such investment shall be made in such a manner as would cause the Bonds to be "arbitrage bonds" within the meaning of Section 148 of the Code or the Regulations and an officer of the City, charged with the responsibility for issuing the Bonds, shall certify as to facts, estimates, circumstances and reasonable expectations in existence on the date of delivery of the Bonds to the Purchaser which will permit the conclusion that the Bonds are not "arbitrage bonds," within the meaning of the Code or Regulations.

Section 9. Compliance with Federal Tax Laws. (a) The City represents and covenants that the projects financed by the Bonds and by the Refunded Obligations and the ownership, management and use of the projects will not cause the Bonds or the Refunded Obligations to be "private activity bonds" within the meaning of Section 141 of the Code. The City further covenants that it shall comply with the provisions of the Code to the extent necessary to maintain the tax-exempt status of the interest on the Bonds including, if applicable, the rebate requirements of Section 148(f) of the Code. The City further covenants that it will not take any action, omit to take any action or permit the taking or omission of any action within its control (including, without limitation, making or permitting any use of the proceeds of the Bonds) if taking, permitting or omitting to take such action would cause any of the Bonds to be an arbitrage bond or a private activity bond within the meaning of the Code or would otherwise cause interest on the Bonds to be included in the gross income of the recipients thereof for federal income tax purposes. The City Clerk or other officer of the City charged with the responsibility of issuing the Bonds shall provide an appropriate certificate of the City certifying

that the City can and covenanting that it will comply with the provisions of the Code and Regulations.

(b) The City also covenants to use its best efforts to meet the requirements and restrictions of any different or additional federal legislation which may be made applicable to the Bonds provided that in meeting such requirements the City will do so only to the extent consistent with the proceedings authorizing the Bonds and the laws of the State of Wisconsin and to the extent that there is a reasonable period of time in which to comply.

Section 10. Execution of the Bonds; Closing; Professional Services. The Bonds shall be issued in printed form, executed on behalf of the City by the manual or facsimile signatures of the Mayor and City Clerk, authenticated, if required, by the Fiscal Agent (defined below), sealed with its official or corporate seal, if any, or a facsimile thereof, and delivered to the Purchaser upon payment to the City of the purchase price thereof, plus accrued interest to the date of delivery (the "Closing"). The facsimile signature of either of the officers executing the Bonds may be imprinted on the Bonds in lieu of the manual signature of the officer but, unless the City has contracted with a fiscal agent to authenticate the Bonds, at least one of the signatures appearing on each Bond shall be a manual signature. In the event that either of the officers whose signatures appear on the Bonds shall cease to be such officers before the Closing, such signatures shall, nevertheless, be valid and sufficient for all purposes to the same extent as if they had remained in office until the Closing. The aforesaid officers are hereby authorized and directed to do all acts and execute and deliver the Bonds and all such documents, certificates and acknowledgements as may be necessary and convenient to effectuate the Closing. The City hereby authorizes the officers and agents of the City to enter into, on its behalf, agreements and contracts in conjunction with the Bonds, including but not limited to agreements and contracts for legal, trust, fiscal agency, disclosure and continuing disclosure, and rebate calculation services. Any such contract heretofore entered into in conjunction with the issuance of the Bonds is hereby ratified and approved in all respects.

Section 11. Payment of the Bonds; Fiscal Agent. The principal of and interest on the Bonds shall be paid by Bond Trust Services Corporation, Roseville, Minnesota, which is hereby appointed as the City's registrar and fiscal agent pursuant to the provisions of Section 67.10(2), Wisconsin Statutes (the "Fiscal Agent"). The City hereby authorizes the Mayor and City Clerk or other appropriate officers of the City to enter into a Fiscal Agency Agreement between the City and the Fiscal Agent. Such contract may provide, among other things, for the performance by the Fiscal Agent of the functions listed in Wis. Stats. Sec. 67.10(2)(a) to (j), where applicable, with respect to the Bonds.

Section 12. Persons Treated as Owners; Transfer of Bonds. The City shall cause books for the registration and for the transfer of the Bonds to be kept by the Fiscal Agent. The person in whose name any Bond shall be registered shall be deemed and regarded as the absolute owner thereof for all purposes and payment of either principal or interest on any Bond shall be made only to the registered owner thereof. All such payments shall be valid and effectual to satisfy and discharge the liability upon such Bond to the extent of the sum or sums so paid.

Any Bond may be transferred by the registered owner thereof by surrender of the Bond at the office of the Fiscal Agent, duly endorsed for the transfer or accompanied by an assignment

duly executed by the registered owner or his attorney duly authorized in writing. Upon such transfer, the Mayor and City Clerk shall execute and deliver in the name of the transferee or transferees a new Bond or Bonds of a like aggregate principal amount, series and maturity and the Fiscal Agent shall record the name of each transferee in the registration book. No registration shall be made to bearer. The Fiscal Agent shall cancel any Bond surrendered for transfer.

The City shall cooperate in any such transfer, and the Mayor and City Clerk are authorized to execute any new Bond or Bonds necessary to effect any such transfer.

Section 13. Record Date. The 15th day of the calendar month next preceding each interest payment date shall be the record date for the Bonds (the "Record Date"). Payment of interest on the Bonds on any interest payment date shall be made to the registered owners of the Bonds as they appear on the registration book of the City at the close of business on the Record Date.

Section 14. Utilization of The Depository Trust Company Book-Entry-Only System. In order to make the Bonds eligible for the services provided by The Depository Trust Company, New York, New York ("DTC"), the City agrees to the applicable provisions set forth in the Blanket Issuer Letter of Representations, which the City Clerk or other authorized representative of the City is authorized and directed to execute and deliver to DTC on behalf of the City to the extent an effective Blanket Issuer Letter of Representations is not presently on file in the City Clerk's office.

Section 15. Payment of Issuance Expenses. The City authorizes the Purchaser to forward the amount of the proceeds of the Bonds allocable to the payment of issuance expenses to a financial institution selected by Ehlers at Closing for further distribution as directed by the City's financial advisor, Ehlers & Associates, Inc.

Section 16. Conditions on Issuance and Sale of the Bonds. The issuance of the Bonds and the sale of the Bonds to the Purchaser are subject to satisfaction of the following conditions:

(a) expiration of the petition period provided for under Section 67.05(7)(b), Wis. Stats., without the filing of a sufficient petition for a referendum with respect to the issuance of the Bonds to finance the Project; and

(b) approval by an Authorized Officer of the principal amount, definitive maturities, redemption provisions, interest rates and purchase price for the Bonds, which approval shall be evidenced by execution by an Authorized Officer of the Approving Certificate.

The Bonds shall not be issued, sold or delivered until these conditions are satisfied. Upon satisfaction of these conditions, an Authorized Officer is authorized to execute a Proposal with the Purchaser providing for the sale of the Bonds to the Purchaser.

Section 17. Official Statement. The Common Council hereby directs the Authorized Officers to approve the Preliminary Official Statement with respect to the Bonds and deem the Preliminary Official Statement as "final" as of its date for purposes of SEC Rule 15c2-12 promulgated by the Securities and Exchange Commission pursuant to the Securities and

Exchange Act of 1934 (the "Rule"). All actions taken by the Authorized Officers or other officers of the City in connection with the preparation of such Preliminary Official Statement and any addenda to it or final Official Statement are hereby ratified and approved. In connection with the Closing, the appropriate City official shall certify the Preliminary Official Statement and any addenda or final Official Statement. The City Clerk shall cause copies of the Preliminary Official Statement and any addenda or final Official Statement to be distributed to the Purchaser.

Section 18. Undertaking to Provide Continuing Disclosure. The City hereby covenants and agrees, for the benefit of the owners of the Bonds, to enter into a written undertaking (the "Undertaking") if required by the Rule to provide continuing disclosure of certain financial information and operating data and timely notices of the occurrence of certain events in accordance with the Rule. The Undertaking shall be enforceable by the owners of the Bonds or by the Purchaser on behalf of such owners (provided that the rights of the owners and the Purchaser to enforce the Undertaking shall be limited to a right to obtain specific performance of the obligations thereunder and any failure by the City to comply with the provisions of the Undertaking shall not be an event of default with respect to the Bonds).

To the extent required under the Rule, the Mayor and City Clerk, or other officer of the City charged with the responsibility for issuing the Bonds, shall provide a Continuing Disclosure Certificate for inclusion in the transcript of proceedings, setting forth the details and terms of the City's Undertaking.

Section 19. Redemption of the Refunded Obligations. The Refunded Obligations are hereby called for prior payment and redemption on November 13, 2023 (or on such other date approved by an Authorized Officer in the Approving Certificate) at a price of par plus accrued interest to the date of redemption subject to final approval by an Authorized Officer as evidenced by the execution of the Approving Certificate.

The City hereby directs the City Clerk to take all actions necessary for the redemption of the Refunded Obligations on their redemption date. Any and all actions heretofore taken by the officers and agents of the City to effectuate such redemption are hereby ratified and approved.

Section 20. Record Book. The City Clerk shall provide and keep the transcript of proceedings as a separate record book (the "Record Book") and shall record a full and correct statement of every step or proceeding had or taken in the course of authorizing and issuing the Bonds in the Record Book.

Section 21. Bond Insurance. If the Purchaser determines to obtain municipal bond insurance with respect to the Bonds, the officers of the City are authorized to take all actions necessary to obtain such municipal bond insurance. The Mayor and City Clerk are authorized to agree to such additional provisions as the bond insurer may reasonably request and which are acceptable to the Mayor and City Clerk including provisions regarding restrictions on investment of Bond proceeds, the payment procedure under the municipal bond insurance policy, the rights of the bond insurer in the event of default and payment of the Bonds by the bond insurer and notices to be given to the bond insurer. In addition, any reference required by the bond insurer to the municipal bond insurance policy shall be made in the form of Bond provided herein.

Section 22. Conflicting Resolutions; Severability; Effective Date. All prior resolutions, rules or other actions of the Common Council or any parts thereof in conflict with the provisions hereof shall be, and the same are, hereby rescinded insofar as the same may so conflict. In the event that any one or more provisions hereof shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions hereof. The foregoing shall take effect immediately upon adoption and approval in the manner provided by law.

Adopted, approved and recorded September 12, 2023.

Dianne Duggan
Mayor

ATTEST:

Leah Hurlley
City Clerk

(SEAL)

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

EXHIBIT A
Approving Certificate

(See Attached)

APPROVING CERTIFICATE

The undersigned [Mayor][City Administrator][City Treasurer/Utility Accountant] of the City of Evansville, Rock County, Wisconsin (the "City"), hereby certifies that:

1. Resolution. On September 12, 2023, the Common Council of the City adopted a resolution (the "Resolution") authorizing the issuance and establishing parameters for the sale of not to exceed \$15,430,000 General Obligation Corporate Purpose Bonds, Series 2023A of the City (the "Bonds") after a public sale and delegating to me the authority to approve the Preliminary Official Statement, to approve the purchase proposal for the Bonds, and to determine the details for the Bonds within the parameters established by the Resolution.

2. Proposal; Terms of the Bonds. On the date hereof, the Bonds were offered for public sale and the bids set forth on the Bid Tabulation attached hereto as Schedule I and incorporated herein by this reference were received. The institution listed first on the Bid Tabulation, _____ (the "Purchaser") offered to purchase the Bonds in accordance with the terms set forth in the Proposal attached hereto as Schedule II and incorporated herein by this reference (the "Proposal"). Ehlers & Associates, Inc. recommends the City accept the Proposal. The Proposal meets the parameters and conditions established by the Resolution and is hereby approved and accepted.

The Bonds shall be issued in the aggregate principal amount of \$ _____, which is not more than the \$15,430,000 approved by the Resolution, and shall mature on April 1 of each of the years and in the amounts and shall bear interest at the rates per annum as set forth in the Pricing Summary attached hereto as Schedule III and incorporated herein by this reference. The amount of each annual principal or mandatory redemption payment due on the Bonds is not more than \$300,000 more or less per maturity or mandatory redemption amount than the schedule included in the Resolution as set forth below:

<u>Date</u>	<u>Resolution Schedule</u>	<u>Actual Amount</u>
04-01-2024	\$ 75,000	\$ _____
04-01-2025	60,000	_____
04-01-2026	150,000	_____
04-01-2027	160,000	_____
04-01-2028	250,000	_____
04-01-2029	675,000	_____
04-01-2030	590,000	_____
04-01-2031	635,000	_____
04-01-2032	985,000	_____
04-01-2033	1,015,000	_____
04-01-2034	995,000	_____
04-01-2035	1,010,000	_____
04-01-2036	1,010,000	_____
04-01-2037	1,050,000	_____
04-01-2038	1,090,000	_____
04-01-2039	1,135,000	_____

<u>Date</u>	<u>Resolution Schedule</u>	<u>Actual Amount</u>
04-01-2040	\$1,135,000	\$ _____
04-01-2041	1,135,000	_____
04-01-2042	1,135,000	_____
04-01-2043	1,140,000	_____

The true interest cost on the Bonds (computed taking the Purchaser's compensation into account) is _____%, which is not in excess of 4.50%, as required by the Resolution.

3. Purchase Price of the Bonds. The Bonds shall be sold to the Purchaser in accordance with the terms of the Proposal at a price of \$_____, plus accrued interest, if any, to the date of delivery of the Bonds, which is not less than 98.75% nor more than 110.00% of the principal amount of the Bonds, as required by the Resolution.

4. Redemption Provisions of the Bonds. The Bonds maturing on April 1, _____ and thereafter are subject to redemption prior to maturity, at the option of the City, on April 1, _____ or on any date thereafter. Said Bonds are redeemable as a whole or in part, and if in part, from maturities selected by the City and within each maturity by lot, at the principal amount thereof, plus accrued interest to the date of redemption. [The Proposal specifies that [some of] the Bonds are subject to mandatory redemption. The terms of such mandatory redemption are set forth on an attachment hereto as Schedule MRP and incorporated herein by this reference.]

5. Direct Annual Irrepealable Tax Levy. For the purpose of paying the principal of and interest on the Bonds as the same respectively falls due, the full faith, credit and taxing powers of the City have been irrevocably pledged and there has been levied on all of the taxable property in the City, pursuant to the Resolution, a direct, annual irrepealable tax in an amount and at the times sufficient for said purpose. Such tax shall be for the years and in the amounts set forth on the debt service schedule attached hereto as Schedule IV.

6. Redemption of the Refunded Obligations. In the Resolution, the Common Council authorized the redemption of the Refunded Obligations and granted me the authority to determine the redemption date. The Refunded Obligations shall be redeemed on November 13, 2023.

7. Expiration of Petition Period. The petition period provided for under Section 67.05(7)(b), Wisconsin Statutes, has expired without the filing of a sufficient petition for a referendum with respect to the initial resolutions authorizing the issuance of the Bonds.

8. Purpose of the Bonds. The Bonds are issued for the following public purposes in the following amounts: \$_____ for parks and public grounds projects; \$_____ for street improvement projects; \$_____ for sewerage projects consisting of storm sewer projects; \$_____ for constructing police facilities; \$_____ for swimming pool projects; and \$_____ for refunding certain obligations of the City.

9. Preliminary Official Statement. The Preliminary Official Statement with respect to the Bonds is hereby approved and deemed "final" as of its date for purposes of SEC Rule 15c2-12 promulgated by the Securities and Exchange Commission pursuant to the Securities and Exchange Act of 1934.

10. Approval. This Certificate constitutes my approval of the Proposal, and the principal amount, definitive maturities, interest rates, purchase price and redemption provisions for the Bonds and the direct annual irrevocable tax levy to repay the Bonds, in satisfaction of the parameters set forth in the Resolution.

IN WITNESS WHEREOF, I have executed this Certificate on October 18, 2023 pursuant to the authority delegated to me in the Resolution.

[Dianne Duggan][Jason Sergeant][Julie Roberts]
[Mayor][City Administrator][City
Treasurer/Utility Accountant]

COPY

SCHEDULE I TO APPROVING CERTIFICATE

Bid Tabulation

To be provided by Ehlers & Associates, Inc. and incorporated into the Certificate.

(See Attached)

COPY

SCHEDULE II TO APPROVING CERTIFICATE

Proposal

To be provided by Ehlers & Associates, Inc. and incorporated into the Certificate.

(See Attached)

COPY

SCHEDULE III TO APPROVING CERTIFICATE

Pricing Summary

To be provided by Ehlers & Associates, Inc. and incorporated into the Certificate.

(See Attached)

COPY

SCHEDULE IV TO APPROVING CERTIFICATE

Debt Service Schedule and Irrepealable Tax Levies

To be provided by Ehlers & Associates, Inc. and incorporated into the Certificate.

(See Attached)

COPY

[SCHEDULE MRP

Mandatory Redemption Provision

The Bonds due on April 1, ____, ____, and ____ (the "Term Bonds") are subject to mandatory redemption prior to maturity by lot (as selected by the Depository) at a redemption price equal to One Hundred Percent (100%) of the principal amount to be redeemed plus accrued interest to the date of redemption, from debt service fund deposits which are required to be made in amounts sufficient to redeem on April 1 of each year the respective amount of Term Bonds specified below:

For the Term Bonds Maturing on April 1, 20

<u>Redemption Date</u>	<u>Amount</u>
____	\$ _____
____	_____
____	_____ (maturity)

For the Term Bonds Maturing on April 1, 20

<u>Redemption Date</u>	<u>Amount</u>
____	\$ _____
____	_____
____	_____ (maturity)

For the Term Bonds Maturing on April 1, 20

<u>Redemption Date</u>	<u>Amount</u>
____	\$ _____
____	_____
____	_____ (maturity)

For the Term Bonds Maturing on April 1, 20

<u>Redemption Date</u>	<u>Amount</u>
____	\$ _____
____	_____
____	_____ (maturity)]

EXHIBIT B

(Form of Bond)

REGISTERED	UNITED STATES OF AMERICA	DOLLARS
	STATE OF WISCONSIN	
	ROCK COUNTY	
NO. R-_____	CITY OF EVANSVILLE	\$_____
GENERAL OBLIGATION CORPORATE PURPOSE BOND, SERIES 2023A		

MATURITY DATE:	ORIGINAL DATE OF ISSUE:	INTEREST RATE:	CUSIP:
April 1, _____	November 9, 2023	_____%	_____

DEPOSITORY OR ITS NOMINEE NAME: CEDE & CO.

PRINCIPAL AMOUNT: _____ THOUSAND DOLLARS
(\$_____)

FOR VALUE RECEIVED, the City of Evansville, Rock County, Wisconsin (the "City"), hereby acknowledges itself to owe and promises to pay to the Depository or its Nominee Name (the "Depository") identified above (or to registered assigns), on the maturity date identified above, the principal amount identified above, and to pay interest thereon at the rate of interest per annum identified above, all subject to the provisions set forth herein regarding redemption prior to maturity. Interest shall be payable semi-annually on April 1 and October 1 of each year commencing on April 1, 2024 until the aforesaid principal amount is paid in full. Both the principal of and interest on this Bond are payable to the registered owner in lawful money of the United States. Interest payable on any interest payment date shall be paid by wire transfer to the Depository in whose name this Bond is registered on the Bond Register maintained by Bond Trust Services Corporation, Roseville, Minnesota (the "Fiscal Agent") or any successor thereto at the close of business on the 15th day of the calendar month next preceding each interest payment date (the "Record Date"). This Bond is payable as to principal upon presentation and surrender hereof at the office of the Fiscal Agent.

For the prompt payment of this Bond together with interest hereon as aforesaid and for the levy of taxes sufficient for that purpose, the full faith, credit and resources of the City are hereby irrevocably pledged.

This Bond is one of an issue of Bonds aggregating the principal amount of \$_____, all of which are of like tenor, except as to denomination, interest rate, maturity date and redemption provision, issued by the City pursuant to the provisions of Section 67.04, Wisconsin Statutes, for the following public purposes in the following amounts: parks and public grounds projects (\$_____); street improvement projects (\$_____); sewerage projects consisting of storm sewer projects (\$_____); constructing police facilities (\$_____); swimming pool projects (\$_____); and refunding certain obligations of the City (\$_____), as authorized

by resolutions adopted on September 12, 2023, as supplemented by an Approving Certificate, dated October 18, 2023 (the "Approving Certificate") (collectively, the "Resolutions"). Said Resolutions are recorded in the official minutes of the Common Council for said date.

The Bonds maturing on April 1, _____ and thereafter are subject to redemption prior to maturity, at the option of the City, on April 1, _____ or on any date thereafter. Said Bonds are redeemable as a whole or in part, and if in part, from maturities selected by the City, and within each maturity by lot (as selected by the Depository), at the principal amount thereof, plus accrued interest to the date of redemption.

[The Bonds maturing in the years _____ are subject to mandatory redemption by lot as provided in the Approving Certificate, at the redemption price of par plus accrued interest to the date of redemption and without premium.]

In the event the Bonds are redeemed prior to maturity, as long as the Bonds are in book-entry-only form, official notice of the redemption will be given by mailing a notice by registered or certified mail, overnight express delivery, facsimile transmission, electronic transmission or in any other manner required by the Depository, to the Depository not less than thirty (30) days nor more than sixty (60) days prior to the redemption date. If less than all of the Bonds of a maturity are to be called for redemption, the Bonds of such maturity to be redeemed will be selected by lot. Such notice will include but not be limited to the following: the designation, date and maturities of the Bonds called for redemption, CUSIP numbers, and the date of redemption. Any notice provided as described herein shall be conclusively presumed to have been duly given, whether or not the registered owner receives the notice. The Bonds shall cease to bear interest on the specified redemption date provided that federal or other immediately available funds sufficient for such redemption are on deposit at the office of the Depository at that time. Upon such deposit of funds for redemption the Bonds shall no longer be deemed to be outstanding.

It is hereby certified and recited that all conditions, things and acts required by law to exist or to be done prior to and in connection with the issuance of this Bond have been done, have existed and have been performed in due form and time; that the aggregate indebtedness of the City, including this Bond and others issued simultaneously herewith, does not exceed any limitation imposed by law or the Constitution of the State of Wisconsin; and that a direct annual irrevocable tax has been levied sufficient to pay this Bond, together with the interest thereon, when and as payable.

This Bond is transferable only upon the books of the City kept for that purpose at the office of the Fiscal Agent, only in the event that the Depository does not continue to act as depository for the Bonds, and the City appoints another depository, upon surrender of the Bond to the Fiscal Agent, by the registered owner in person or his duly authorized attorney, together with a written instrument of transfer (which may be endorsed hereon) satisfactory to the Fiscal Agent duly executed by the registered owner or his duly authorized attorney. Thereupon a new fully registered Bond in the same aggregate principal amount shall be issued to the new depository in exchange therefor and upon the payment of a charge sufficient to reimburse the City for any tax, fee or other governmental charge required to be paid with respect to such

registration. The Fiscal Agent shall not be obliged to make any transfer of the Bonds (i) after the Record Date, (ii) during the fifteen (15) calendar days preceding the date of any publication of notice of any proposed redemption of the Bonds, or (iii) with respect to any particular Bond, after such Bond has been called for redemption. The Fiscal Agent and City may treat and consider the Depository in whose name this Bond is registered as the absolute owner hereof for the purpose of receiving payment of, or on account of, the principal or redemption price hereof and interest due hereon and for all other purposes whatsoever. The Bonds are issuable solely as negotiable, fully-registered Bonds without coupons in the denomination of \$5,000 or any integral multiple thereof.

This Bond shall not be valid or obligatory for any purpose until the Certificate of Authentication hereon shall have been signed by the Fiscal Agent.

No delay or omission on the part of the owner hereof to exercise any right hereunder shall impair such right or be considered as a waiver thereof or as a waiver of or acquiescence in any default hereunder.

COPY

IN WITNESS WHEREOF, the City of Evansville, Rock County, Wisconsin, by its governing body, has caused this Bond to be executed for it and in its name by the manual or facsimile signatures of its duly qualified Mayor and City Clerk; and to be sealed with its official or corporate seal, if any, all as of the original date of issue specified above.

CITY OF EVANSVILLE
ROCK COUNTY, WISCONSIN

By: _____
Dianne Duggan
Mayor

(SEAL)

By: _____
Leah Hurtley
City Clerk

COPY

Date of Authentication: _____, _____

CERTIFICATE OF AUTHENTICATION

This Bond is one of the Bonds of the issue authorized by the within-mentioned Resolutions of the City of Evansville, Rock County, Wisconsin.

BOND TRUST SERVICES CORPORATION,
ROSEVILLE, MINNESOTA

By _____
Authorized Signatory

COPY

ASSIGNMENT

FOR VALUE RECEIVED, the undersigned sells, assigns and transfers unto

(Name and Address of Assignee)

(Social Security or other Identifying Number of Assignee)

the within Bond and all rights thereunder and hereby irrevocably constitutes and appoints _____, Legal Representative, to transfer said Bond on the books kept for registration thereof, with full power of substitution in the premises.

Dated: _____

Signature Guaranteed:

(e.g. Bank, Trust Company
or Securities Firm)

(Depository or Nominee Name)

NOTICE: This signature must correspond with the name of the Depository or Nominee Name as it appears upon the face of the within Bond in every particular, without alteration or enlargement or any change whatever.

(Authorized Officer)

**CITY OF EVANSVILLE
RESOLUTION #2023-22**

Amending the City of Evansville's Fee Schedule- Cemetery

WHEREAS, Wisconsin Statutes section 66.0628(2) holds, “Any fee that is imposed by a political subdivision shall bear a reasonable relationship to the service for which the fee is imposed;”

WHEREAS, the last adjustment for fees was August 2021 for interment/inurnment for grave spaces:

WHEREAS, the last adjustment for fees was August 2018 for columbarium, open and closing fees;

WHEREAS, the last adjustment for fees was August 2016 for cemetery lots and perpetual care charges;

WHEREAS, the last adjustment for fees was August 2004 for monument/marker approval;

WHEREAS, the base charges and overtime fees for grave and ash burials will more closely be representative of fees charged by the surrounding area and provide adequate compensation for time spent during extended or late burials.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Evansville that the City of Evansville's Fee Schedule is amended, effective upon adoption, as follows:

26	Fees for interment:	Current Rate	New Rate
42	Grave/Ownership Transfer Fee	NA	\$120.00
44(a)			
(1)	Grave, cherub:		
a.	Weekday (before 2:00pm)	\$700.00	\$900.00
b.	Weekend (includes weekdays 2:00-5:00pm)	\$900.00	\$1,200.00
c.	Weekend (includes weekdays after 5:00 and holidays) Holidays (until 5:00pm) & Weekend (between 2:00pm and 5:00pm)	\$1,100.00	\$1,800.00
(2)	Grave, cherub:		
a.	Weekday (before 2:00pm)	\$300.00	\$450.00
b.	Weekend (includes weekdays 2:00-5:00pm)	\$500.00	\$1,200.00
(3)	Ashes:		
a.	Weekday (before 2:00pm)	\$300.00	\$350.00
b.	Weekend (includes weekdays 2:00-5:00pm)	\$400.00	\$450.00
c.	Holidays (until 5:00pm) & Weekend (between 2:00pm and 5:00pm)	\$600.00	\$1,800.00

(4)	Additional inurnment and interment fees		
a.	Less than two working days' notice:		
1.—	— Full interment	\$150.00	NA
2.—	— Ashes	\$75.00	NA
3.—	Cherub	\$75.00	NA
4.—	Columbarium	\$75.00	NA
1.	Full interment, Cherub	NA	\$200.00
2.	Ashes, Columbarium	NA	\$200.00
b.	Permit – Burial or cremation	\$50.00	\$100.00
c.	Winter Charges Frost Charges		
1.	Full interment, Cherub	\$300.00	
	Snow	NA	\$150.00
	Frost	NA	\$250.00
2.	Full interment —Cherub	\$300.00	
3.	Ashes	\$300.00	
	Snow	NA	\$150.00
	Frost	NA	\$250.00
(5)	Disinterment		
a.	Weekday only – Full Burial, Cherub	\$850.00	\$2,000.00
b.	Weekday only – Cherub, Ashes, Columbarium	\$400.00	\$500.00
	Weekday only – Columbarium		\$250.00
(7)	Columbarium, opening and closing fees:		
a.	Weekday (before 2:00pm)	\$150.00	350.00
b.	Weekend (includes weekdays before 2:00 p.m.)	\$250.00	\$450.00
c.	Holidays (until 5:00pm) & Weekend (between 2:00pm and 5:00pm)	250.00	\$1,800.00
44(b)	Cemetery lots and perpetual care charges:	Current Rate	New Rate
(1)	Eight grave spaces		
a.	Resident	\$3,000.00	\$3,500.00
b.	Nonresident	\$3,800.00	\$5,900.00
(2)	Four grave spaces		
a.	Resident	\$1,600.00	\$2,000.00
b.	Nonresident	\$2,000.00	\$3,300.00
(3)	Two grave spaces		
a.	Resident	\$900.00	\$1,200.00
b.	Nonresident	\$1,100.00	\$1,800.00
(4)	One grave space		
a.	Resident	\$450.00	\$700.00
b.	Nonresident	\$550.00	\$1,000.00
(5)	Columbarium niches		
a.—	Top 3 rows, single	\$900.00	NA

b.—	Top 3 rows, double	\$1,500.00	NA
c.—	Bottom 2 rows, single	\$750.00	NA
d.—	Bottom 2 rows, double	\$1400.00	NA
a.	Single niche	NA	\$1,100.00
b.	Double niche	NA	\$1,800.00
113	Monument/Marker Approval	\$25.00	\$75.00

Passed and adopted this 12th day of September, 2023.

Dianne C. Duggan, Mayor

ATTEST:

Leah L. Hurtley, City Clerk

Introduced: 08/29/2023
Adopted: 09/12/2023
Published: 09/20/2023

FINAL ASSESSMENT REPORT

2022 STREET & UTILITY IMPROVEMENTS Liberty Street, Old Highway 92, and Madison Street Sidewalk

(Plans and Specifications under separate cover are available at the
Office of the City Clerk and are a part of this report)

City of Evansville, Wisconsin

August 2023

TOWN & COUNTRY ENGINEERING, INC.

Madison ♦ Rhinelander ♦ Kenosha
6264 Nesbitt Road • Madison, WI 53719 • (608) 273-3350 • tce@tcengineers.net

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SECTION I

SUMMARY OF THE PROJECT

BENEFITED PROPERTIES

BASIS FOR ASSESSMENTS

SUMMARY OF THE PROJECT

The project covered by this assessment report is for street and utility improvements on Liberty Street from Maple Street to Crawford Street, as well as sidewalk reconstruction on South Madison Street from Main Street to Garrison Drive. The scope of work was reduced for both project areas due to budgeting.

The work on Liberty Street included replacement of all the existing 4-inch and 6-inch water main with new 8-inch water main, reconstruction of the sanitary sewer and storm sewer as necessary, complete reconstruction of the existing street pavement, replacement of the curb & gutter, replacement of existing damaged and heaved sidewalk, and construction of new sidewalk where none currently exists. The work on South Madison Street consisted of replacement of existing damaged and heaved sidewalk and construction of new sidewalk where none currently exists. The contractor performed spot repairs as necessary and as directed by City Engineer.

The improvement of the actual street surface and underground utility construction are paid for by the City from general fund monies. Sidewalk and curb & gutter and the work items necessary to blend new sidewalk and curb & gutter to the existing yards and driveways is assessed to the property owners. The plans, specifications and bidding documents which cover this work are under separate cover and are available at City Hall.

The benefited properties along Liberty Street are shown on Schedule A1 of the following pages, and the benefited properties along South Madison Street are shown on Schedule B1. Following the listing of the benefited properties is a narrative description of the basis for assessments.

Benefited Properties (Liberty Street)

I, the undersigned, do hereby state that it is my judgment that the properties listed below will benefit from, and will not be damaged by, curb & gutter, sidewalk, and driveway construction on Liberty Street from Maple Street to Crawford Street in the City of Evansville, Wisconsin.

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
NORTH SIDE OF LIBERTY STREET <i>(Crawford Street to Maple Street)</i>				
CHRISTOPHER S PLOESSL 440 W LIBERTY ST EVANSVILLE WI 53536-1226	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION LOT 14	6-27-294.14	135.80	2.29%
FRED L WINGER & CAROLYN L WINGER 136 CRAWFORD ST EVANSVILLE WI 53536-1217	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION LOT 22	6-27-294.22	131.40	2.22%
GREGORY J WHITMORE & DEBORAH J WHITMORE 133 S 4TH ST EVANSVILLE WI 53536-1203	PT SE1/4 ORIGINAL PLAT LOT 12 BLK 19	6-27-223.3	132.00	2.23%
WIENKE PROPERTIES LLC W486 AMIDON RD BROOKLYN WI 53521-9704 (FOR 128/130 S FOURTH ST)	PT SW1/4 ORIGINAL PLAT LOT 13 & W 1/2 LOT 12 BLK 18	6-27-216.2	99.11	1.67%
BONNIE D ALLEN-SMITH 352 W LIBERTY ST EVANSVILLE WI 53536-1224	PT NW1/4 SW1/4 LOTS 8-11 PT LOT 7&12, REPLAT OF BLOCK 18 ORIGINAL PLAT, LOT 14	6-27-215.1A	70.04	1.18%
JESSICA L LAURETIC 342 W LIBERTY ST EVANSVILLE WI 53536-1224	PT NW1/4 SW1/4 LOTS 8-11 PT LOT 7&12, REPLAT OF BLOCK 18 ORIGINAL PLAT, LOT 15	6-27-215.2A	70.04	1.18%
BETH A AMMERMAN 332 W LIBERTY ST EVANSVILLE WI 53536-1224	PT NW1/4 SW1/4 LOTS 8-11 PT LOT 7&12, REPLAT OF BLOCK 18 ORIGINAL PLAT, LOT 16	6-27-215.3A	70.04	1.18%
MATTHEW R WILLIAMS 322 W LIBERTY ST EVANSVILLE WI 53536-1224	PT NW1/4 SW1/4 LOTS 8-11 PT LOT 7&12, REPLAT OF BLOCK 18 ORIGINAL PLAT, LOT 17	6-27-215.4A	70.04	1.18%
JAMES M SCHOENENBERGER & FAY M SCHOENENBERGER 312 W LIBERTY ST EVANSVILLE WI 53536-1224	PT NW1/4 SW1/4 LOTS 8-11 PT LOT 7&12, REPLAT OF BLOCK 18 ORIGINAL PLAT, LOT 18	6-27-215.5A	70.04	1.18%
NANCY L GREVE 131 S 3RD ST EVANSVILLE WI 53536-1256	PT SW1/4 ORIGINAL PLAT S 115.5' LOTS 5 & 6 BLK 18; E 13' S 115.5' LOT 7 BLK 18	6-27-214.1	141.70	2.39%
FAITH C RIOJAS 123 S 3RD ST EVANSVILLE, WI 53536-1256	PT SW1/4 ORIGINAL PLAT S 33' LOT 4 BLK 18 & N 16.5' LOTS 5 & 6 BLK 18 & PT LOT 7 BLK 18 COM 115.5' N OF S LN, W 16.5', NW TO N LN E 33', S 49.5' TO POB	6-27-213	49.50	0.83%

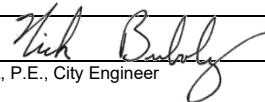
OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
NOAH HURLEY & BECKY HURLEY 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 268 W LIBERTY ST)	PT SW1/4 ORIGINAL PLAT - BLOCK 17 W 33' S 99' LOT 21 & S 99' LOT 22 & S1/2 W 99' N1/2 LOTS 21&22 & N1/2 W1/2 LOT 20 (EXC COM NW COR LOT 22, S 3 RDS, E 10 RDS, N 3 RDS, W 10 RDS TO POB)	6-27-207	99.00	1.67%
MARY J KOEHL 252 W LIBERTY ST EVANSVILLE WI 53536-1253	ORIGINAL PLAT PT SW1/4 W1/2 S1/2 LOT 20 BLK 17 N1/2 W1/2 LOT 20 BLK 17 N1/2 LOTS 21 & 22 BLK 17 E1/2 S1/2 LOT 21 BLK 17 (EXC COM NW COR LOT 22, S 3 RDS, E 10 RDS, N 3 RDS W 10 RDS TO POB)	6-27-206	66.00	1.11%
SCOTT J SMITH & JOAN M SMITH 246 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 19 & E33' LOT 20 BLK 17 & S 8.25' ADJ VAC ALLEY	6-27-205	99.00	1.67%
KRISTI OBMASCHER 240 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 18 BLK 17 & S 8.25' ADJ VAC ALLEY	6-27-204	66.00	1.11%
JULIO C LEMA & MARIA J LEMA 234 1/2 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 17 BLK 17 & S 8.25' ADJ VAC ALLEY	6-27-203	66.00	1.11%
MICHAEL STORM & JENNIFER STORM 226 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 16 BLK 17 & S 8.25' ADJ VAC ALLEY	6-27-202	66.00	1.11%
LORRAINE M SCHWARTZLOW 220 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 15 BLK 17 & S 8.25' ADJ VAC ALLEY	6-27-201	66.00	1.11%
ASHLEE JO JOHNSON 214 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 14 BLK 17 & W 8.25' ADJ VAC ALLEY	6-27-200	66.00	1.11%
ANN R SELLNOW 210 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT LOT 13 BLK 17 (EXC N 63')(EXC E 4.95')	6-27-199	61.05	1.03%
KEVIN WEHNER & HANNAH WEHNER 204 W LIBERTY ST EVANSVILLE WI 53536-1253	PT SW1/4 ORIGINAL PLAT S 156.75' LOT 12 BLK 17 & E 5' S 156.75' LOT 13 BLK 17	6-27-198	63.69	1.07%
JASON A GROVER & BEATRIZ O HERNANDEZ 144 W LIBERTY ST EVANSVILLE WI 53536-1354	PT SW1/4 ORIGINAL PLAT S 135' LOT 16 BLK 16	6-27-184	66.00	1.11%
AMANDA LEAHY & TYLER LEAHY 136 W LIBERTY ST EVANSVILLE WI 53536-1316	PT SW1/4 ORIGINAL PLAT LOT 15 BLK 16	6-27-182	66.00	1.11%
DEVIN T BLUMER & JADE E GREEN 132 W LIBERTY ST EVANSVILLE WI 53536-1316	PT SW1/4 ORIGINAL PLAT LOT 14 BLK 16	6-27-181	66.00	1.11%
STEVEN L LEVERENTZ & SUSAN M WEBER 126 W LIBERTY ST EVANSVILLE WI 53536-1316	PT SW1/4 ORIGINAL PLAT W 56' LOT 13 BLK 16	6-27-180	66.00	1.11%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
MICHAEL PELTOLA & JOSEY SCOVILLE 122 W LIBERTY ST EVANSVILLE WI 53536-1316	PT SW1/4 ORIGINAL PLAT LOT 12 BLK 16 & LOT 13 BLK 16 (EXC W 56')	6-27-179	66.00	1.11%
JOHN R DECKER & SANDRA J DECKER 143 W MAIN ST EVANSVILLE WI 53536-1145 (FOR 112 W LIBERTY ST)	PT SW1/4 ORIGINAL PLAT LOT 11 BLK 16	6-27-178	66.00	1.11%
SCOTT A ZEITLER & NANCY CHEESEMAN-ZEITLER 104 W LIBERTY ST EVANSVILLE WI 53536-1316	PT SW1/4 ORIGINAL PLAT S 94.87' LOTS 9 & 10 BLK 16	6-27-177	111.34	1.88%
MILAN BATINICH & DEANNA C BATINICH 40 W LIBERTY ST EVANSVILLE WI 53536-1314	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 9	6-27-700	90.22	1.52%
JAMES H BROUGHTON & LYNNETTE F BROUGHTON 34 W LIBERTY ST EVANSVILLE WI 53536-1314	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 8	6-27-699	82.96	1.40%
JULIE A SPATAFORE 26 W LIBERTY ST EVANSVILLE WI 53536-1314	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 7	6-27-698	72.46	1.22%
SOMMANEGUEBNONGDA KIEMDE 20 W LIBERTY ST EVANSVILLE WI 53536-1314	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 6	6-27-697	66.46	1.12%
LISA BUA 10 W LIBERTY ST EVANSVILLE WI 53536-1314	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 5 & R/W	6-27-696	44.00	0.74%
MICHAEL J MILLER & JENNIFER K MILLER 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 133 S MADISON ST)	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 1	6-27-690	132.46	2.23%
ALAN D TOMLIN & JACQUELINE M TOMLIN 134 S MADISON ST EVANSVILLE WI 53536-1320	PT SE1/4 ORIGINAL PLAT LOT 8 & S 33' LOT 9 BLK 14	6-27-158	133.13	2.24%
SONJA F HEISER 133 MAPLE ST EVANSVILLE WI 53536-1422	PT SE1/4 ORIGINAL PLAT LOT 7 BLK 14	6-27-157	91.89	1.55%
<i>SOUTH SIDE OF LIBERTY STREET</i> <i>(Crawford Street to Maple Street)</i>				
MICHAEL A GUTH 439 W LIBERTY ST EVANSVILLE WI 53536-1225	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION, LOT 25 & ASSESSORS PLAT SHEET 7 PT 1 N 69.25' OUTLOT 6 S & ADJ	6-27-294.25	84.00	1.42%
GERALD F BECKWITH 433 W LIBERTY ST EVANSVILLE WI 53536-1225	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION, LOT 26 & ASSESSORS PLAT SHEET 7 PT 1 N 69.25' OUTLOT 6 S & ADJ	6-27-294.26	84.00	1.42%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
NICK ALLEN & MARIVIC D ALLEN 427 W LIBERTY ST EVANSVILLE WI 53536-1225	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION, LOT 27 & ASSESSORS PLAT SHEET 7 PT 1 N 69.25' OUTLOT 6 S & ADJ	6-27-294.27	84.00	1.42%
ROBERT H PENDELL & TIMOTHY J PENDELL 421 W LIBERTY ST EVANSVILLE WI 53536-1225	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION, LOT 28 & ASSESSOR'S PLAT SHEET 7 PT 1 N 69.25' OUTLOT 6 S & ADJ	6-27-294.28	84.00	1.42%
RICKY R NELSON & MAUREEN NELSON 411 W LIBERTY ST EVANSVILLE WI 53536-1225	PT NE1/4 SE1/4 BRZEZINSKI'S ADDITION, LOT 29 & ASSESSOR'S PLAT SHT 7 PT 1 N 69.25' OUTLOT 6 S & ADJ	6-27-294.29	90.00	1.52%
PAUL A COLLINS & CARSIN F D COLLINS 353 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 1 BLK 20	6-27-224	66.12	1.11%
DONALD C KOHLHAGEN & ROBIN L KOHLHAGEN 345 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 2 BLK 20	6-27-225	66.12	1.11%
RICHARD A FREY & DENISE E FREY 339 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 3 BLK 20	6-27-226	66.12	1.11%
WILLIAM H SCOTT & LAUREN R SCOTT 333 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 4 BLK 20	6-27-227	66.12	1.11%
WILLIAM E BERNSTEIN IV & TRACY BERNSTEIN 327 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 5 BLK 20	6-27-228	66.12	1.11%
CHAD E HOLPIN 321 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 ORIGINAL PLAT LOT 6 BLK 20	6-27-229	66.12	1.11%
BLAKE M WINGER & IDALIA WINGER 315 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 PT OP LTS 7-9 BLK 20 CERTIFIED SURVEY MAP #1081067 VOL 13 PG 375 LOT 1 & W 10' LOT 2	6-27-230.1	76.12	1.28%
BRADLEY R SCHUMANN & DAWN M SCHUMANN 311 W LIBERTY ST EVANSVILLE WI 53536-1223	PT SW1/4 PT OP LTS 7-9 BLK 20 CERTIFIED SURVEY MAP #1081067 VOL 13 PG 375 LOT 2 (EXC W 10')	6-27-230.2	119.61	2.02%
MATTHEW BERREY & ELIZABETH BERREY 259 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT LOTS 1 & 2 BLK 21 (EXC S 67')	6-27-231	132.00	2.23%
JAMES D FOUNTAINE & KRISTIN M FOUNTAINE 251 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT LOT 3 BLK 21	6-27-232	66.00	1.11%
DEAN A BALLMER & CAROL A BALLMER 245 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT, LOT 4 BLOCK 21 LONGFIELD & SMITH ADD E 65.91' LOT 10 (EXC S 198')	6-27-233	66.00	1.11%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
EAGER REVOCABLE TRUST 2527 N WHITEWATER CLUB DRIVE UNIT D PALM SPRINGS CA 92262-2618 (FOR 239 W LIBERTY ST)	PT SW1/4 ORIGINAL PLAT LOT 5 BLK 21 & W1/2 VAC ALLEY S & ADJ	6-27-234	66.00	1.11%
KURT F SCHMIDT 231 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT LOT 6 BLK 21	6-27-235	66.00	1.11%
SUSANNE C HERMAN 225 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT LOT 7 BLK 21	6-27-236	66.00	1.11%
ROSS DUNPHY 219 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT, LOT 8 BLK 21 & COMMON DRIVE EASE LONGFIELD & SMITH ADD W 11' LOT 1 & N 66' LOT 5	6-27-237	66.00	1.11%
KAPEN E PHILLIPS, PHOENIX P WALMER & CAROLYN M SPERRY 213 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 ORIGINAL PLAT LOT 9 BLK 21 & COMMON DRIVEWAY EASE	6-27-238	66.00	1.11%
DENISE M STRAND 209 W LIBERTY ST EVANSVILLE WI 53536-1252	PT SW1/4 PT ORIGINAL PLAT CERTIFIED SURVEY MAP #1150358 VOL 15 PG 344-345 LOT 1	6-27-239	83.00	1.40%
CHRISTINE A FELTON 213 S 2ND ST EVANSVILLE WI 53536-1339	PT SW1/4 PT ORIGINAL PLAT CERTIFIED SURVEY MAP #1150358 VOL 15 PG 344-345 LOT 2	6-27-240	38.51	0.65%
MACKENZIE M MULLIGAN 143 W LIBERTY ST EVANSVILLE WI 53536-1353	PT SW1/4 ORIGINAL PLAT N 108' LOT 1 BLK 22	6-27-241	66.00	1.11%
DONALD E FALDET & AMY J FALDET 128 W CHURCH ST EVANSVILLE WI 53536-1332 (FOR 135 W LIBERTY ST)	PT SW1/4 ORIGINAL PLAT LOT 2 & W1/2 LOT 3 BLK 22	6-27-242.1	99.00	1.67%
MARK G HUTCHINS & NICOLE M HUTCHINS 129 W LIBERTY ST EVANSVILLE WI 53536-1315	PT SW1/4 ORIGINAL PLAT LOT 4 & E 33' LOT 3 BLK 22	6-27-243	99.00	1.67%
EVANSVILLE PUBLIC SCHOOL 307 S 1ST ST EVANSVILLE WI 53536-1352	PT SW1/4, ORIGINAL PLAT, LOT 5 BLK 22 HUNT & SPENCERS ADD LOTS 1-5 (EXC E 29.10') PT SW1/4 SEC 27, BDD ON E BY FIRST ST, ON W BY SECOND ST, ON S BY HUNT & SPENCERS ADD, ON N BY ALLEY	6-27-244	66.00	1.11%
EVANSVILLE COMMUNITY SCHOOL DISTRICT 340 FAIR ST EVANSVILLE WI 53536-1361 (FOR 111 W LIBERTY ST)	PT SW1/4 ORIGINAL PLAT W 57.75' LOT 6 BLK 22	6-27-245	57.75	0.97%
HAILEY CROSS 107 W LIBERTY ST EVANSVILLE WI 53536-1315	PT SW1/4, ORIGINAL PLAT E 1/8 LOT 6 BLK 22; W 3/4 LOT 7 BLK 22 (EXC E&W 2RD & N & S 4RD) N1/2 VACATED ALLEY S & ADJ	6-27-246	56.98	0.96%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
DOUDLAH FAMILY TRUST / PATRICIA A DOUDLAH SURVIVORS TRUST 10220 N WILDER RD EVANSVILLE WI 53536-8942 (FOR 203 S FIRST ST)	PT SW1/4 PT OP L7&8 B22 CERTIFIED SURVEY MAP #1038540 VOL 12 PG 463 LOT 1	6-27-248.1	62.70	1.06%
JOHN R A OTTO & KIMBERLYN J OTTO 39 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 13	6-27-704	80.67	1.36%
THOMAS I BLAIN & LAURA E PARMENTIER 35 W LIBERTY ST EVANSVILLE WI 53536-1313	ASSESSORS PLAT SHEET 3 SW1/4 OUTLOT 14 & PT OUTLOT 27 COM 82.5' E NW COR OL27, E 30', N 16.5', W 30', S 16.5' TO POB & COM NW COR OUTLOT 27, E 112.5' TO POB; S 87', E 36', N 103.5', W 36', S 16.5' TO POB	6-27-705	66.14	1.11%
ALAN W ZARECKI & KARI C WINGER 29 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 15	6-27-706	66.14	1.11%
NICHOLAS A SCHMIDT & SABEANA K SCHWARTZ 21 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 16	6-27-707	66.14	1.11%
AMANDA FURSETH 15 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSORS PLAT SHEET 3 OUTLOT 17	6-27-708	66.14	1.11%
TAMMY KUFAHL 9 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 18	6-27-709	66.42	1.12%
CHRISTOPHER B HIONIS & AMY L HIONIS 3 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 19	6-27-710	76.86	1.30%
EVANSVILLE ECUMENICAL CARE CLOSET LTD PO BOX 651 EVANSVILLE WI 53536-6070 (FOR 202 S MADISON ST & 206 S MADISON ST)	PT SE1/4 ORIGINAL PLAT LOT 1 & N 16.5' LOT 2 & N 82.50' LOT 6 BLK 23	6-27-249	222.75	3.76%
TOTALS			5,932.02	100.00%


Nick Bubolz, P.E., City Engineer

Benefited Properties (South Madison Street)

I, the undersigned, do hereby state that it is my judgment that the properties listed below will benefit from, and will not be damaged by, sidewalk and driveway construction on South Madison Street from Main Street to Garrison Drive in the City of Evansville, Wisconsin.

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
WEST SIDE OF SOUTH MADISON STREET (Main Street to Garrison Drive)				
FARNSWORTH ENTERPRISES I LLC 205 CLIFTON ST EVANSVILLE WI 53536-1007 (FOR 1, 3 & 5 W MAIN STREET)	ORIGINAL PLAT PT SW1/4 PT BLK 8, COM NE COR LOT 10, S TO SE COR, W TO SW COR, W 2', NLY TO N LN E 35' TO POB PT LOT 11 BLK 8 COM NE COR, S 33', W 55.5', N TO S LN LOT 9, E TO POB (EXC ALLEY & R/W) E 19' LOT 9 BLK 8 W 1' LOT 10 BLK 8	6-27-98	98.39	1.76%
PRAKONG SPEARS 11 1/2 S MADISON ST EVANSVILLE WI 53536-1317	PT SW1/4, ORIGINAL PLAT PT LOT 11 BLK 8 COM 23.5' S OF NE COR, S 26', W 70.5', N 33', E 15', S 7', E 55.5' TO POB	6-27-100	25.81	0.46%
RICHARD LEE BALDWIN 13 S MADISON ST EVANSVILLE WI 53536-1317	PT SW1/4, ORIGINAL PLAT PT LOT 11 BLK 8 DAF: COM SE COR, W 138', N 33', E 32', N 16.5', E 35.5', S 33', E 70.5', S 16.5' TO POB & N12/ LOT 12 (EXC W 60') BLK 8	6-27-101	48.74	0.87%
METHODIST CHURCH PO BOX 441 EVANSVILLE WI 53536-4050 (FOR 21 S MADISON ST)	PT SW1/4 ORIGINAL PLAT LOT 13 & S 33' LOT 12 BLK 8	6-27-102	98.43	1.76%
CITY OF EVANSVILLE PO BOX 529 EVANSVILLE WI 53536-5060 (FOR 31 S MADISON ST)	PT SW1/4 OP LOT 14 BLK 8 CERTIFIED SURVEY MAP #1325704 VOL 20 PG 91-92 LOT 1	6-27-103.A	98.43	1.76%
FORWARD INVESTMENT PROPERTIES LLC 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 5 W CHURCH ST; 103 & 105 S MADISON ST)	PT SW1/4 ORIGINAL PLAT E 16.42' N 76.9' LOT 6 & LOT 7 BLK 15 (EXC S 55.1') SUB TO EASE	6-27-166	76.90	1.37%
M J PROPERTIES LLC 109 S MADISON ST EVANSVILLE WI 53536-1319	PT NE1/4 SW1/4 PT CSM 27-151 PT LOTS 6&7 BLK 15 OP & PT OUTLOTS 3&4 SHT 3 AP CERTIFIED SURVEY MAP #1741772, VOL 29 PG 272-274 LOT 2	6-27-166.1	55.10	0.98%
FRANCESCA BUA & MICHAEL BUA 115 S MADISON ST EVANSVILLE WI 53536-1319	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 3	6-27-692	82.50	1.47%
NOAH HURLEY & BECKY HURLEY 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 123 S MADISON ST)	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 2	6-27-691	99.00	1.77%
MICHAEL J MILLER & JENNIFER K MILLER 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 133 S MADISON ST)	PT SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 1	6-27-690	82.48	1.47%
CHRISTOPHER B HIONIS & AMY L HIONIS 3 W LIBERTY ST EVANSVILLE WI 53536-1313	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 19	6-27-710	99.00	1.77%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
MNM RENTALS LLC 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 213 S MADISON ST)	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 20	6-27-711	99.00	1.77%
TYLER J SCHNELL & SHANNON K SCHNELL 223 S MADISON ST EVANSVILLE WI 53536-1321	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 21	6-27-712	66.00	1.18%
IVAN L LEGLER & PEGGY L LEGLER 229 S MADISON ST EVANSVILLE WI 53536-1321	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 22	6-27-713	82.50	1.47%
KATHLEEN D EDWARDS & TIMOTHY JAMES EDWARDS 237 S MADISON ST EVANSVILLE WI 53536-1321	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 23	6-27-714	82.50	1.47%
TERRY DELZER & KRISTINA SMITH 305 S MADISON ST EVANSVILLE WI 53536-1323	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 24	6-27-715	49.50	0.88%
PLEASY BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 309 S MADISON ST)	SW1/4 ASSESSOR'S PLAT SHEET 3 N 59' E 154' OUTLOT 25	6-27-716	59.00	1.05%
STEVEN J CHRISTENS & CHRISTINE E CHRISTENS 15 N 2ND ST EVANSVILLE WI 53536-1147 (FOR 313 S MADISON ST)	SW1/4 ASSESSOR'S PLAT SHEET 3 S 7' E 154' OUTLOT 25 E 154' OUTLOT 26	6-27-717	50.00	0.89%
MALLORY ISBELL 323 S MADISON ST EVANSVILLE WI 53536-1347	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 33	6-27-726	66.00	1.18%
BRETT G MEYER 329 S MADISON ST EVANSVILLE WI 53536-1347	SW1/4 ASSESSORS PLAT SHEET 3 OUTLOTS 32 & 35	6-27-727	82.50	1.47%
BARBARA A MAY 337 S MADISON ST EVANSVILLE WI 53536-1347	SW1/4 ASSESSORS PLAT SHEET 3 OUTLOT 36	6-27-728	82.50	1.47%
AUSTIN FRENZEL & SARAH GORSLINE 345 S MADISON ST EVANSVILLE WI 53536-1347	PT SW1/4 SPENCER'S 2ND ADDITION LOT 13 & N 8.25' LOT 12	6-27-532.2	74.25	1.32%
SHEILA J NELSON 351 S MADISON ST EVANSVILLE WI 53536-1347	PT SW1/4 SPENCER'S 2ND ADDITION A STRIP OF LAND 1 RD WIDE OFF N SIDE LOT 11 AND A STRIP 3 1/2 RDS WIDE OFF S SIDE LOT 12	6-27-532.1	74.25	1.32%

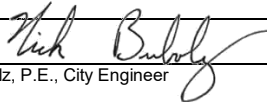
OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
APRIL L STEINDL 405 S MADISON ST EVANSVILLE WI 53536-1325	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 37 & SPENCER'S 2ND ADDITION, S 16.5' LOT 11	6-27-729	99.00	1.77%
DARLENE E VAN BEEK TRUST 411 S MADISON ST EVANSVILLE WI 53536-1325	SW1/4 ASSESSORS PLAT SHEET 3 N 50' OUTLOT 38	6-27-730	50.00	0.89%
JENNA MC KEE 413 S MADISON ST EVANSVILLE WI 53536-1325	SW1/4 ASSESSOR'S PLAT SHEET 3 S 60' OUTLOT 38	6-27-731	60.00	1.07%
MARGARET J FUNK & LEJUANA E MEADE 425 S MADISON ST EVANSVILLE, WI 53536-1325	SW1/4 ASSESSORS PLAT SHEET 3 OUTLOT 39	6-27-732	55.00	0.98%
SHANE MICHAEL GERARD 429 S MADISON ST EVANSVILLE WI 53536-1325	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 40	6-27-733	66.00	1.18%
ROESSLER GROVE PROPERTIES LLC 42 GROVE ST EVANSVILLE WI 53536-1103 (FOR 435 S MADISON ST)	SW1/4 ASSESSOR'S PLAT SHEET 3 OUTLOT 41	6-27-734	99.32	1.77%
PLEASY R BERG & PLASY BERG TRUST (AKA) 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 459 S MADISON ST)	PT NE1/4 NW1/4 SEC 34 PT OL 46 SHEET 3 AP CERTIFIED SURVEY MAP #1229090 VOL 17 PG 202-204 LOT 1	6-27-740.1	125.07	2.23%
PLEASY R BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 501 S MADISON ST)	PT NE1/4 NW1/4 SEC 34 PT OL 46 SHEET 3 AP CERTIFIED SURVEY MAP #1229090 VOL 17 PG 202-204 LOT 2	6-27-740.2	141.93	2.53%
PROPERTY GAP	NOT IDENTIFIED ON ROCK COUNTY GIS RECORDS	N/A	4.88	0.09%
PLEASY R BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 515 S MADISON ST)	PT NE1/4 NW1/4 COM 68'S OF NW COR, W 273.7' S 132', E 273.7', N TO POB (EXC HWY)	6-27-988	132.00	2.36%
LILLIAN M JONES 6923 N STATE ROAD 213 EVANSVILLE WI 53536-8425	PT NE1/4 NW1/4 COM 200' S N1/4 COR, W 89.78' TO W LN STH 213 FOR POB S 12', W 140.69', S 120', W 100' TO E LN; CSM 11-28, N 132', E 240.68 TO POB	6-20-302.2	10.96	0.20%
JJ HURST LLC 3324 N OLD 92 EVANSVILLE WI 53536-8569 (FOR 6939 N STATE RD 213)	PT NE1/4 NW1/4 COM 200' S N1/4 COR, W 89.78' TO W LN STH 213 S 12', FOR POB; S 120', W 140.78', N 120', E 140.69' TO POB	6-27-993	120.00	2.14%
CITY OF EVANSVILLE PO BOX 529 EVANSVILLE WI 53536-5060 (FOR 535 S MADISON ST)	PT NE1/4 NW1/4 COM 24.57' W & 332' S OF N1/4 COR, W 241.15', S 462.15', E 241.15', N 462' TO POB	6-27-987	100.00	1.78%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
EAST SIDE OF SOUTH MADISON STREET <i>(Main Street to Garrison Drive)</i>				
DAVIS LAND LLC 1949 N MILTON SHOPIERE RD MILTON WI 53563-8695 (FOR 1 & 3 E MAIN ST)	PT SE1/4 ORIGINAL PLAT N 80' W 10' LOT 1 BLK 9 & ASSESSOR'S PLAT SHEET 2 N 80' OUTLOT 1	6-27-108	80.12	1.43%
DAVIS LAND LLC 1949 N MILTON SHOPIERE RD MILTON WI 53563-8695 (FOR 8 S MADISON ST)	PT SE1/4 ASSESSOR'S PLAT SHEET 2 S 35.5' OUTLOT 1 & ORIGINAL PLAT S 35.5' W 10' LOT 1 BLK 9	6-27-109	35.60	0.64%
ARNDT ENTERPRISES LLC 10325 W COUNTY ROAD M EVANSVILLE WI 53536-8805 (FOR 16 S MADISON ST)	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 2	6-27-613	82.56	1.47%
TRIPLE L CONDOMINIUM, ATTN: CITY CLERK 31 S MADISON ST EVANSVILLE WI 53536-1317 (FOR 24 S MADISON ST)	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 3	6-27-614	82.55	1.47%
SCOT WILLIAMS & JENNIFER WILLIAMS 1045 HILLCREST LN OREGON WI 53575-2612 (FOR 30 S MADISON ST)	SE1/4 ASSESSOR'S PLAT SHEET 2 N 49' OUTLOT 4	6-27-615	49.61	0.89%
MARY ENGEL REVOCABLE LIVING TRUST 34 S MADISON ST EVANSVILLE WI 53536-1318	SE1/4 ASSESSOR'S PLAT SHEET 2 S 49.5' OUTLOT 4	6-27-616	49.61	0.89%
SEKHON ENTERPRISES LLC 104 S MADISON ST EVANSVILLE WI 53536-1320	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 20	6-27-631	132.51	2.36%
JACOB L SCHOENENBERGER & ANN M SCHOENENBERGER 114 S MADISON ST EVANSVILLE WI 53536-1320	PT SE1/4 ORIGINAL PLAT, LOT 11 & N 16.5' LOT 10 BLK 14 ASSESSORS PLAT SHEET 2, OUTLOT 21	6-27-160	83.19	1.48%
HANS BORTH 122 S MADISON ST EVANSVILLE WI 53536-1320	PT SE1/4 ORIGINAL PLAT N 33' LOT 9 BLK 14 & S 49.5' LOT 10 BLK 14	6-27-159	83.47	1.49%
ALAN D TOMLIN & JACQUELINE M TOMLIN 134 S MADISON ST EVANSVILLE WI 53536-1320	PT SE1/4 ORIGINAL PLAT LOT 8 & S 33' LOT 9 BLK 14	6-27-158	99.84	1.78%
EVANSVILLE ECUMENICAL CARE CLOSET LTD PO BOX 651 EVANSVILLE WI 53536-6070 (FOR 202 & 206 S MADISON ST)	PT SE1/4 ORIGINAL PLAT LOT 1 & N 16.5' LOT 2 & N 82.50' LOT 6 BLK 23	6-27-249	82.05	1.46%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
MNM RENTALS LLC 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 212 S MADISON ST)	PT SE1/4 ORIGINAL PLAT S 49.5' LOT 2 BLK 23 & N 33' LOT 3 BLK 23	6-27-250	82.50	1.47%
STEVEN MCCOMB & ABIGAIL MCCOMB 222 S MADISON ST EVANSVILLE WI 53536-1322	PT SE1/4 ORIGINAL PLAT S 33' LOT 3 BLK 23 & N 41.25' LOT 4 BLK 23 & ASSESSOR'S PLAT SHEET 2, OUTLOT 33	6-27-251	74.25	1.32%
ALEXANDRA R IVERSON 230 S MADISON ST EVANSVILLE WI 53536-1322	ORIGINAL PLAT PT SE1/4 S 24.75' LOT 4 BLK 23; LOT 5 BLK 23 ASSESSORS PLAT SHEET 2, OUTLOT 35 (EXC COM SW COR, N 57', SE 43.27', SE 43.27', W 57' TO POB FOR ROW)	6-27-252	107.25	1.91%
CAROLYN J BUTTS 302 S MADISON ST EVANSVILLE WI 53536-1324	ASSESSORS PLAT SHEET 2 SE1/4 N 48' OUTLOT 45 (EXC COM NW COR, S 19.60', NE 53.33', W 49.60' TO POB)	6-27-649	48.01	0.86%
CYNTHIA A HOVORKA 5541 N EAGLE RD EVANSVILLE WI 53536-8757 (FOR 308 S MADISON ST)	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 45 (EXC N 48')	6-27-649.1	51.00	0.91%
DARREN J DAVENPORT & KATIE G DAVENPORT 312 S MADISON ST EVANSVILLE WI 53536-1324	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 46	6-27-650	66.00	1.18%
PAULA J DUERST 322 S MADISON ST EVANSVILLE WI 53536-1324	PT SE1/4 BABCOCK'S ADDITION W 1/2 LOT 21 (EXC S 4RD & 2')	6-27-272	97.00	1.73%
MELISSA TOWN & JEANNIE TOWN 328 S MADISON ST EVANSVILLE WI 53536-1324	PT SE1/4 BABCOCK'S ADDITION S 68' W 148.5' LOT 21	6-27-273	68.00	1.21%
ELLA RUTH FORSTROM 336 S MADISON ST EVANSVILLE WI 53536-1324	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 51	6-27-655	80.45	1.44%
DIANNE C DUGGAN 342 S MADISON ST EVANSVILLE WI 53536-1324	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 52	6-27-656	82.50	1.47%
MEGAN C WHITE 348 S MADISON ST EVANSVILLE WI 53536-1324	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 53	6-27-657	66.00	1.18%
MICHAEL J CONNERS & TRACI L GRABER 402 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 54	6-27-658	66.00	1.18%
JEFFREY C SCHULTHESS 408 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 55	6-27-659	63.50	1.13%
TRISHA FORMAN 414 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 56	6-27-660	64.50	1.15%

OWNER	FRONTAGE DESCRIPTION	PARCEL NUMBER	FEET OF FRONTAGE	PERCENT OF TOTAL
TONI A SPERRY 422 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSOR'S PLAT SHEET 2 W 198' OUTLOT 57	6-27-661.1	100.00	1.78%
MARIANA KAMP 430 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 59	6-27-662	82.50	1.47%
DANIEL G COBB 448 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSOR'S PLAT SHEET 2 OUTLOT 60	6-27-662.1	82.50	1.47%
KENNETH C NEHLS SR 456 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 61	6-27-663	66.00	1.18%
GARRETT WALKER 464 S MADISON ST EVANSVILLE WI 53536-1326	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 62	6-27-664	99.00	1.77%
SCOTT HATLEVIG & GISELLA HATLEVIG 468 S MADISON ST EVANSVILLE WI 53536-1356	SE1/4 ASSESSORS PLAT SHEET 2 OUTLOT 63	6-27-665	82.50	1.47%
JUST BEYOND THE WILLOW LLC 205 N 6TH ST EVANSVILLE, WI 53536-1060 (FOR 510 S MADISON ST)	PT NW1/4 NE1/4 COM NW COR SEC 34, E 60', S 165', W 60', N 165' TO POB & N 165' OF PT NE1/4 NW1/4 LYING E OF STH 213	6-27-983A	165.37	2.95%
J VIAENE PROPERTIES LLC 201 KINGSTON WAY WAUNAKEE WI 53597-1709 (FOR PROPERTY WITHOUT ADDRESS)	PT NW1/4 NE1/4 COM 10 RD S N1/4 COR, E 7 RD, S 5 RD, W 7 RD, N 5 RD TO POB (EXC ANNEX 2008-7) RESTS *10' NLY STRIP NOT ANNEXED**	6-20-281	10.00	0.18%
J VIAENE PROPERTIES LLC 201 KINGSTON WAY WAUNAKEE WI 53597-1709 (FOR 520 S MADISON ST)	PT NW1/4 NE1/4 COM N1/4 COR, S 165.2' TO POB E 115.5', S 82.5', W 115.5', N 82.5 TO POB (EXC N 10')	6-27-983.2	72.00	1.28%
PRAIRIE CROSSING CONDO PO BOX 75 EVANSVILLE WI 53536-0075 (FOR PROPERTY WITHOUT ADDRESS)	PT NW1/4 NE1/4 SEE 6-20-280A.1 FOR REMAINDER COM 247.70' S OF N1/4 COR, E 115.5', N 82.5', E 291.3', E 165.11', S 737.48', W 571.27', N 654.1' TO POB PRAIRIE CROSSING CONDO ADD 1 UNITS 1 - 55 DECLARATION 1739453, 1740858 BYLAWS 1739454, 1740859 CONDO PLAT 1740860 --MAPPING PARCEL--	6-27-983.6	170.00	3.03%
TOTALS			5,604.88	100.00%

Nick Bubolz, P.E., City Engineer



BASIS FOR ASSESSMENTS

Curb & gutter is a direct benefit to adjacent properties, because it provides for efficient drainage of runoff onto street right-of-way, without ditches which are troublesome to mow, particularly during wet periods. It avoids "rutting" of wheel paths from vehicles which may park on the street frontages during wet soil conditions and the ponding areas which result from such wheel ruts. It provides a clean, visually pleasing line of demarcation between the traveled portion of the street and adjacent vegetated areas. Assessments are made on a front foot basis for curb & gutter, that is, the assessable cost of all of the sidewalk, curb & gutter and all restoration (blending) between the curb & gutter and the existing yards, driveways and sidewalks is added up and assessed to the property served by that section of sidewalk and curb & gutter. A lineal foot basis for curb & gutter assessments is a commonly recognized method for determining curb & gutter benefits to adjacent properties, such benefits being drainage, appearance and longevity of adjacent surfaces. Costs for curb & gutter and sidewalk within intersections are not assessed to any property.

The City of Evansville assessment policy is that 50% of the costs of curb & gutter and sidewalk and 100% for driveways will be charged to the property owners abutting the improvements on the basis of front footage. Two-sided lots receive the same rate for each side. Storm sewer and drainage swales and appurtenances are not assessed. Curb & gutter, sidewalk, and driveway that must be replaced due to sanitary sewer, storm sewer, or water main improvements is not assessed.

Assessments for curb & gutter are made for 50% of the cost of excavation, new concrete curb & gutter, base course beneath and to one foot behind the curb & gutter, and restoration of all vegetated and paved areas behind the curb which must be disturbed to properly blend curb & gutter to the existing features.

Assessments for sidewalk are made for 50% of the cost for excavation, new concrete sidewalk, base course beneath the sidewalk, and restoration of all adjacent vegetated and paved areas which must be disturbed to properly blend the sidewalk to existing features.

Assessments for driveways are made for 100% of the cost for excavation, new concrete sidewalk, base course beneath the driveway, and restoration of all adjacent vegetated and paved areas which must be disturbed to properly blend the driveways to existing features.

In some areas residents chose to also replace additional sidewalk and driveways. These areas were only reconstructed at the homeowner's request and 100% of the associated costs were assessed to that particular property owner.

The entire project was walked in the Fall of 2021 to identify curb & gutter, sidewalk, and driveway that would need replacement, and would be assessed to the fronting property owner. Some concrete has become damaged due to freeze/thaw cycles or other reasons and warranted replacement (and assessment).

Final assessable amounts were determined by re-inspecting the project after construction and determining exactly the quantities of curb & gutter, sidewalk, and driveway that were assessable. The assessable improvements were constructed as a part of a street and utilities improvements or sidewalk improvements project. Plans & specifications for the project are available at City Hall.

SECTION II
PROJECT COSTS

ASSESSABLE COSTS
 (using bid prices and planned quantities)
2022 STREET AND UTILITY IMPROVEMENTS
Liberty Street
 City of Evansville, Wisconsin
 August 2023

Curb & Gutter - Sample Cost for 100 linear feet

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Excavation for New Curb & Gutter*	21.3 cu. yds.	\$12.61	\$269.01
New 30" Concrete Curb & Gutter	100 lin. ft.	\$16.41	\$1,641.00
3/4" Crushed Aggregate Base Course Under Curb & Gutter	3.90 tons	\$14.25	\$55.55
3" Breaker Run Base Course Under Curb & Gutter	19.49 tons	\$13.61	\$265.27
Topsoil Restoration, including Seeding, Fertilizing, & Mulching	166.7 sq. yds.	\$7.65	\$1,275.00
SUBTOTAL			\$3,505.83
ENGINEERING @ 13%			\$455.76
TOTAL			\$3,961.59

Total Assessable Length: 100.00 feet
 Total Assessable Costs: \$1,980.79 (50%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per foot of curb & gutter: \$19.8079 / foot

4" Concrete Sidewalk - Sample Cost for 100 linear feet (assumes 5 ft. width)

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Excavation for New 4" Sidewalk*	15.4 cu. yds.	\$12.61	\$194.60
New 4" Sidewalk	500 sq. ft.	\$5.34	\$2,670.00
3/4" Crushed Aggregate Base Course Under Sidewalk	18.56 tons	\$14.25	\$264.52
Topsoil Restoration, including Seeding, Fertilizing, & Mulching	44.4 sq. yds.	\$7.65	\$340.00
SUBTOTAL			\$3,469.12
ENGINEERING @ 13%			\$450.99
TOTAL			\$3,920.11

Total Assessable Length: 100.00 feet
 Total Assessable Costs: \$1,960.05 (50%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per foot of sidewalk: \$19.6005 / foot

6" Concrete Driveways - Sample Cost for 100 square feet

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Excavation for New Concrete Driveway *	4.3 cu. yds.	\$12.61	\$54.49
6" Concrete Driveway Pavement	100 sq. ft.	\$6.34	\$634.00
3/4" Crushed Aggregate Base Course Under Sidewalk	4.95 tons	\$14.25	\$70.54
Topsoil Restoration, including Seeding, Fertilizing, & Mulching	8.9 sq. yds.	\$7.65	\$68.00
SUBTOTAL			\$827.03
ENGINEERING @ 13%			\$107.51
TOTAL			\$934.54

Total Assessable Area: 100.00 sq. ft.
 Total Assessable Costs: \$934.54 (100%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per square foot of conc. drive: \$9.3454 / sq. foot

2" Asphalt Driveways - Sample Cost for 100 square feet

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Excavation for New Asphalt Driveway*	4.3 cu. yds.	\$12.61	\$54.49
2" Asphalt Driveway Pavement	11.1 sq. yds.	\$15.74	\$174.89
3/4" Crushed Aggregate Base Course Under Sidewalk	7.43 tons	\$14.25	\$105.81
Topsoil Restoration, including Seeding, Fertilizing, & Mulching	8.9 sq. yds.	\$7.65	\$68.00
SUBTOTAL			\$403.19
ENGINEERING @ 13%			\$52.41
TOTAL			\$455.60

Total Assessable Area: 100.00 sq. ft.
 Total Assessable Costs: \$455.60 (100%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per square foot of asph. drive: \$4.5560 / sq. foot

* Excavation for the new curb & gutter is computed for the area under and to 1 foot behind the back of the curb. Excavation for sidewalks and driveways is computed for the area directly beneath those surfaces.

ASSESSABLE COSTS
 (using bid prices and planned quantities)
2022 STREET AND UTILITY IMPROVEMENTS
South Madison Street
 City of Evansville, Wisconsin
 August 2023

4" Concrete Sidewalk - Sample Cost for 100 linear feet (assumes 5 ft. width)

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Remove and Replace 4" Sidewalk	500 sq. ft.	\$9.82	\$4,910.00
SUBTOTAL			\$4,910.00
ENGINEERING @ 13%			\$638.30
TOTAL			\$5,548.30

Total Assessable Length: 100.00 feet
 Total Assessable Costs: \$2,774.15 (50%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per foot of sidewalk: \$27.7415 / foot

6" Concrete Driveways - Sample Cost for 100 square feet

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Remove and Replace 6" Concrete Driveway Pavement	100 sq. ft.	\$10.47	\$1,047.00
SUBTOTAL			\$1,047.00
ENGINEERING @ 13%			\$136.11
TOTAL			\$1,183.11

Total Assessable Area: 100.00 sq. ft.
 Total Assessable Costs: \$1,183.11 (100%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per square foot of conc. drive: \$11.8311 / sq. foot

2" Asphalt Driveways - Sample Cost for 100 square feet

ITEM	NUMBER OF UNITS	UNIT COST	SUBTOTAL COST
Remove and Replace 2" Asphalt Driveway Pavement	11.1 sq. yds.	\$178.36	\$1,981.78
SUBTOTAL			\$1,981.78
ENGINEERING @ 13%			\$257.63
TOTAL			\$2,239.41

Total Assessable Area: 100.00 sq. ft.
 Total Assessable Costs: \$2,239.41 (100%)
 Note: The total of the assessments will differ slightly due to rounding
 Cost per square foot of asph. drive: \$22.3941 / sq. foot

SECTION III

FINAL ASSESSMENTS

Final Assessments (Liberty Street)

I, the undersigned, do hereby state that it is my judgment that the properties listed below will benefit from, and will not be damaged by, curb & gutter, sidewalk, and driveway construction on Liberty Street from Maple Street to Crawford Street in the City of Evansville, Wisconsin.

OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
<i>NORTH SIDE OF LIBERTY STREET</i> <i>(Crawford Street to Maple Street)</i>										
CHRISTOPHER S PLOESSL 440 W LIBERTY ST EVANSVILLE WI 53536-1226	6-27-294.14	0	\$0.00	0	\$0.00	642	0	\$5,999.77		\$5,999.77
FRED L WINGER & CAROLYN L WINGER 136 CRAWFORD ST EVANSVILLE WI 53536-1217	6-27-294.22	0	\$0.00	0	\$0.00	288	0	\$2,691.49		\$2,691.49
GREGORY J WHITMORE & DEBORAH 133 S 4TH ST EVANSVILLE WI 53536-1203	6-27-223.3	0	\$0.00	0	\$0.00	12	0	\$112.15		\$112.15
WIENKE PROPERTIES LLC W486 AMIDON RD BROOKLYN WI 53521-9704 (FOR 128/130 S FOURTH ST)	6-27-216.2	69	\$1,368.93	32	\$629.18	38	156	\$1,067.74		\$3,065.84
BONNIE D ALLEN-SMITH 352 W LIBERTY ST EVANSVILLE WI 53536-1224	6-27-215.1A	54	\$1,070.42	7	\$133.28	311	0	\$2,910.17		\$4,113.87
JESSICA L LAURETIC 342 W LIBERTY ST EVANSVILLE WI 53536-1224	6-27-215.2A	54	\$1,070.42	14	\$281.46	283	0	\$2,645.69		\$3,997.58
BETH A AMMERMAN 332 W LIBERTY ST EVANSVILLE WI 53536-1224	6-27-215.3A	36	\$717.84	6	\$113.29	289	0	\$2,699.90		\$3,531.03
MATTHEW R WILLIAMS 322 W LIBERTY ST EVANSVILLE WI 53536-1224	6-27-215.4A	44	\$877.89	22	\$426.12	266	0	\$2,482.15		\$3,786.15
JAMES M SCHOENENBERGER & FAY 312 W LIBERTY ST EVANSVILLE WI 53536-1224	6-27-215.5A	50	\$991.19	29	\$561.36	81	0	\$756.05		\$2,308.59
NANCY L GREVE 131 S 3RD ST EVANSVILLE WI 53536-1256	6-27-214.1	138	\$2,727.55	91	\$1,783.65	0	0	\$0.00		\$4,511.20
FAITH C RIOJAS 123 S 3RD ST EVANSVILLE, WI 53536-1256	6-27-213	0.0	\$0.00	0	\$0.00	0	0	\$0.00	\$890.00	\$890.00
NOAH HURLEY & BECKY HURLEY 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 268 W LIBERTY ST)	6-27-207	32	\$639.00	83	\$1,635.47	0	0	\$0.00		\$2,274.47
MARY J KOEHL 252 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-206	30	\$586.71	8	\$161.12	204	0	\$1,908.34	\$600.00	\$3,256.17
SCOTT J SMITH & JOAN M SMITH 246 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-205	0	\$0.00	19	\$366.14	217	0	\$2,024.22	\$0.00	\$2,390.36

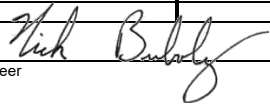
OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
KRISTI OBMASCHER 240 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-204	28	\$559.57	29	\$569.59	215	0	\$2,006.47	\$1,319.00	\$4,454.63
JULIO C LEMA & MARIA J LEMA 234 1/2 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-203	13	\$257.50	19	\$379.47	181	0	\$1,695.26	\$1,662.00	\$3,994.23
MICHAEL STORM & JENNIFER STORM 226 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-202	0	\$0.00	23	\$446.89	332	0	\$3,101.75	\$1,212.00	\$4,760.64
LORRAINE M SCHWARTZLOW 220 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-201	40	\$800.64	2	\$35.28	114	0	\$1,067.25	\$0.00	\$1,903.17
ASHLEE JO JOHNSON 214 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-200	48	\$951.38	11	\$222.66	16	0	\$149.53	\$1,484.00	\$2,807.56
ANN R SELLNOW 210 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-199	43	\$852.73	5	\$105.84	77	0	\$719.60		\$1,678.17
KEVIN WEHNER & HANNAH WEHNER 204 W LIBERTY ST EVANSVILLE WI 53536-1253	6-27-198	31	\$605.33	34	\$657.79	0	0	\$0.00		\$1,263.12
JASON A GROVER & BEATRIZ O HERNANDEZ 144 W LIBERTY ST EVANSVILLE WI 53536-1354	6-27-184	42	\$839.06	33	\$654.27	0	0	\$0.00		\$1,493.33
AMANDA LEAHY & TYLER LEAHY 136 W LIBERTY ST EVANSVILLE WI 53536-1316	6-27-182	47	\$926.02	29	\$568.42	227	0	\$2,118.61		\$3,613.05
DEVIN T BLUMER & JADE E GREEN 132 W LIBERTY ST EVANSVILLE WI 53536-1316	6-27-181	39	\$762.61	42	\$820.87	0	0	\$0.00	\$1,495.00	\$3,078.48
STEVEN L LEVERENTZ & SUSAN M WEBER 126 W LIBERTY ST EVANSVILLE WI 53536-1316	6-27-180	43	\$854.32	43	\$845.17	0	0	\$0.00	\$2,950.00	\$4,649.49
#REF! MICHAEL PELTOLA & JOSEY SCOVILLE 122 W LIBERTY ST EVANSVILLE WI 53536-1316	6-27-179	47	\$930.97	33	\$649.17	276	0	\$2,579.34	\$2,124.00	\$6,283.48
JOHN R DECKER & SANDRA J DECKER 143 W MAIN ST EVANSVILLE WI 53536-1145 (FOR 112 W LIBERTY ST)	6-27-178	40	\$789.15	30	\$595.07	0	0	\$0.00	\$0.00	\$1,384.22
SCOTT A ZEITLER & NANCY CHEESEMAN- 104 W LIBERTY ST EVANSVILLE WI 53536-1316	6-27-177	75	\$1,478.46	5	\$101.14	0	0	\$0.00		\$1,579.60
MILAN BATINICH & DEANNA C BATINICH 40 W LIBERTY ST EVANSVILLE WI 53536-1314	6-27-700	65	\$1,285.14	42	\$814.60	158	0	\$1,476.58		\$3,576.32

OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
JAMES H BROUGHTON & LYNNETTE 34 W LIBERTY ST EVANSVILLE WI 53536-1314	6-27-699	65	\$1,290.88	40	\$791.08	206	0	\$1,925.16	\$2,950.00	\$6,957.12
JULIE A SPATAFORE 26 W LIBERTY ST EVANSVILLE WI 53536-1314	6-27-698	54	\$1,064.68	18	\$361.43	178	0	\$1,664.42		\$3,090.53
SOMMANEGUEBNONGDA KIEMDE 20 W LIBERTY ST EVANSVILLE WI 53536-1314	6-27-697	46	\$910.77	21	\$408.48	178	0	\$1,661.62		\$2,980.86
LISA BUA 10 W LIBERTY ST EVANSVILLE WI 53536-1314	6-27-696	28	\$554.62	5	\$101.14	161	0	\$1,504.62	\$3,304.00	\$5,464.38
MICHAEL J MILLER & JENNIFER K MILLER 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 133 S MADISON ST)	6-27-690	75	\$1,491.14	62	\$1,208.96	310	0	\$2,897.09	\$950.00	\$6,547.19
ALAN D TOMLIN & JACQUELINE M TOMLIN 134 S MADISON ST EVANSVILLE WI 53536-1320	6-27-158	130	\$2,583.95	49	\$964.74	69	277	\$1,901.76		\$5,450.44
SONJA F HEISER 133 MAPLE ST EVANSVILLE WI 53536-1422	6-27-157	86	\$1,694.77	50	\$977.28	110	234	\$2,092.29		\$4,764.34
SOUTH SIDE OF LIBERTY STREET (Crawford Street to Maple Street)										
MICHAEL A GUTH 439 W LIBERTY ST EVANSVILLE WI 53536-1225	6-27-294.25	0	\$0.00	0	\$0.00	0	0	\$0.00		\$0.00
GERALD F BECKWITH 433 W LIBERTY ST EVANSVILLE WI 53536-1225	6-27-294.26	0	\$0.00	0	\$0.00	0	0	\$0.00		\$0.00
NICK ALLEN & MARIVIC D ALLEN 427 W LIBERTY ST EVANSVILLE WI 53536-1225	6-27-294.27	0	\$0.00	0	\$0.00	0	0	\$0.00		\$0.00
ROBERT H PENDELL & TIMOTHY J PENDELL 421 W LIBERTY ST EVANSVILLE WI 53536-1225	6-27-294.28	0	\$0.00	0	\$0.00	0	0	\$0.00		\$0.00
RICKY R NELSON & MAUREEN NELSON 411 W LIBERTY ST EVANSVILLE WI 53536-1225	6-27-294.29	0	\$0.00	0	\$0.00	0	0	\$0.00		\$0.00
PAUL A COLLINS & CAR SIN F D COLLINS 353 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-224	19	\$384.27	52	\$1,021.97	0	0	\$0.00	\$747.30	\$2,153.55
DONALD C KOHLHAGEN & ROBIN L KOHLHAGEN 345 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-225	18	\$347.63	50	\$970.23	15	56	\$391.63		\$1,709.48

OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
RICHARD A FREY & DENISE E FREY 339 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-226	1	\$19.81	45	\$883.98	280	0	\$2,618.59		\$3,522.38
WILLIAM H SCOTT & LAUREN R SCOTT 333 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-227	12	\$237.70	40	\$787.55	182	0	\$1,696.20	\$1,210.00	\$3,931.44
WILLIAM E BERNSTEIN IV & TRACY BERNSTEIN 327 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-228	14	\$277.31	41	\$801.27	240	0	\$2,246.64	\$1,249.00	\$4,574.22
CHAD E HOLPIN 321 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-229	31	\$622.17	42	\$815.77	158	66	\$1,775.00		\$3,212.94
BLAKE M WINGER & IDALIA WINGER 315 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-230.1	59	\$1,175.01	43	\$840.08	355	140	\$3,955.07		\$5,970.15
BRADLEY R SCHUMANN & DAWN M SCHUMANN 311 W LIBERTY ST EVANSVILLE WI 53536-1223	6-27-230.2	53	\$1,057.55	105	\$2,065.11	0	0	\$0.00		\$3,122.66
MATTHEW BERREY & ELIZABETH BERREY 259 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-231	101	\$1,999.41	38	\$743.64	160	0	\$1,498.07		\$4,241.13
JAMES D FOUNTAINE & KRISTIN M FOUNTAINE 251 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-232	48	\$954.54	29	\$567.63	199	0	\$1,857.87		\$3,380.05
DEAN A BALLMER & CAROL A BALLMER 245 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-233	46	\$907.20	25	\$481.78	169	0	\$1,575.64		\$2,964.63
EAGER REVOCABLE TRUST 2527 N WHITEWATER CLUB DRIVE UNIT D PALM SPRINGS CA 92262-2618 (FOR 239 W LIBERTY ST)	6-27-234	36	\$713.09	21	\$412.79	56	0	\$526.15		\$1,652.02
KURT F SCHMIDT 231 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-235	49	\$960.69	36	\$705.62	194	0	\$1,812.08		\$3,478.38
SUSANNE C HERMAN 225 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-236	25	\$504.31	22	\$421.80	141	0	\$1,321.45	\$1,500.00	\$3,747.56
ROSS DUNPHY 219 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-237	26	\$507.68	55	\$1,074.11	87	0	\$816.79		\$2,398.58
KAPEN E PHILLIPS, PHOENIX P WALMER & CAROLYN M SPERRY 213 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-238	48	\$940.88	34	\$657.79	0	0	\$0.00		\$1,598.67
DENISE M STRAND 209 W LIBERTY ST EVANSVILLE WI 53536-1252	6-27-239	53	\$1,049.82	55	\$1,087.44	257	0	\$2,400.84		\$4,538.10

OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
CHRISTINE A FELTON 213 S 2ND ST EVANSVILLE WI 53536-1339	6-27-240	23	\$462.52	19	\$378.68	41	0	\$384.10		\$1,225.30
MACKENZIE M MULLIGAN 143 W LIBERTY ST EVANSVILLE WI 53536-1353	6-27-241	4	\$79.23	30	\$595.07	0	0	\$0.00		\$674.30
DONALD E FALDET & AMY J FALDET 128 W CHURCH ST EVANSVILLE WI 53536-1332 (FOR 135 W LIBERTY ST)	6-27-242.1	0	\$0.00	92	\$1,807.17	57	146	\$1,196.89		\$3,004.06
MARK G HUTCHINS & NICOLE M HUTCHINS 129 W LIBERTY ST EVANSVILLE WI 53536-1315	6-27-243	49	\$970.59	47	\$925.14	35	85	\$714.35		\$2,610.09
EVANSVILLE PUBLIC SCHOOL 307 S 1ST ST EVANSVILLE WI 53536-1352	6-27-244	0	\$0.00	5	\$98.00	0	0	\$0.00		\$98.00
EVANSVILLE COMMUNITY SCHOOL DISTRICT 340 FAIR ST EVANSVILLE WI 53536-1361 (FOR 111 W LIBERTY ST)	6-27-245	0	\$0.00	5	\$98.00	286	0	\$2,674.66		\$2,772.67
HAILEY CROSS 107 W LIBERTY ST EVANSVILLE WI 53536-1315	6-27-246	12	\$245.82	9	\$179.93	20	0	\$184.11		\$609.85
DOUDLAH FAMILY TRUST / PATRICIA A DOUDLAH SURVIVORS TRUST 10220 N WILDER RD EVANSVILLE WI 53536-8942 (FOR 203 S FIRST ST)	6-27-248.1	34	\$679.81	44	\$864.38	50	154	\$1,168.90		\$2,713.09
JOHN R A OTTO & KIMBERLYN J OTTO 39 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-704	4	\$79.23	42	\$821.26	0	0	\$0.00		\$900.49
THOMAS I BLAIN & LAURA E PARMENTIER 35 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-705	22	\$438.35	22	\$434.74	34	88	\$718.68		\$1,591.77
ALAN W ZARECKI & KARI C WINGER 29 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-706	0	\$0.00	9	\$184.64	74	122	\$1,243.69		\$1,428.32
NICHOLAS A SCHMIDT & SABEANA K SCHWARTZ 21 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-707	35	\$696.84	18	\$359.87	49	138	\$1,089.42		\$2,146.13
AMANDA FURSETH 15 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-708	50	\$993.17	42	\$813.81	239	0	\$2,236.36		\$4,043.35
TAMMY KUFAHL 9 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-709	50	\$998.72	17	\$333.21	0	0	\$0.00	\$1,250.00	\$2,581.93

OWNER	PARCEL NUMBER	Curb & Gutter Length (ft.)	Curb & Gutter Cost	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Water Lateral Replacement	Total
CHRISTOPHER B HIONIS & AMY L HIONIS 3 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-710	5	\$99.04	44	\$852.62	0	0	\$0.00	\$1,500.00	\$2,451.66
EVANSVILLE ECUMENICAL CARE CLOSET LTD PO BOX 651 EVANSVILLE WI 53536-6070 (FOR 202 S MADISON ST & 206 S MADISON ST)	6-27-249	220	\$4,357.75	153	\$3,005.94	1091	340	\$11,744.04		\$19,107.73
TOTALS		2,741.01	\$54,293.76	2,268	\$44,461.45	9,908	2,000	\$101,706.22	\$28,396.30	\$228,857.73



Nick Bubolz, P.E., City Engineer

Final Assessments (South Madison Street)

I, the undersigned, do hereby state that it is my judgment that the properties listed below will benefit from, and will not be damaged by, sidewalk and driveway construction on South Madison Street from Main Street to Garrison Drive in the City of Evansville, Wisconsin.

OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
WEST SIDE OF SOUTH MADISON STREET <i>(Main Street to Garrison Drive)</i>							
FARNSWORTH ENTERPRISES I LLC 205 CLIFTON ST EVANSVILLE WI 53536-1007 (FOR 1, 3 & 5 W MAIN STREET)	6-27-98	5	\$138.71	0		\$0.00	\$138.71
PRAKONG SPEARS 11 1/2 S MADISON ST EVANSVILLE WI 53536-1317	6-27-100	5	\$138.71	0		\$0.00	\$138.71
RICHARD LEE BALDWIN 13 S MADISON ST EVANSVILLE WI 53536-1317	6-27-101	9	\$238.58	0		\$0.00	\$238.58
METHODIST CHURCH PO BOX 441 EVANSVILLE WI 53536-4050 (FOR 21 S MADISON ST)	6-27-102	17	\$466.06	0		\$0.00	\$466.06
CITY OF EVANSVILLE PO BOX 529 EVANSVILLE WI 53536-5060 (FOR 31 S MADISON ST)	6-27-103.A	11	\$291.29	0		\$0.00	\$291.29
FORWARD INVESTMENT PROPERTIES LLC 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 5 W CHURCH ST; 103 & 105 S MADISON	6-27-166	6	\$152.58	48		\$567.89	\$720.47
M J PROPERTIES LLC 109 S MADISON ST EVANSVILLE WI 53536-1319	6-27-166.1	0	\$0.00	50		\$591.56	\$591.56
FRANCESCA BUA & MICHAEL BUA 115 S MADISON ST EVANSVILLE WI 53536-1319	6-27-692	23	\$638.05	0		\$0.00	\$638.05
NOAH HURLEY & BECKY HURLEY 129 N MADISON ST EVANSVILLE WI 53536-1158 (FOR 123 S MADISON ST)	6-27-691	20	\$554.83	69		\$810.43	\$1,365.26
MICHAEL J MILLER & JENNIFER K MILLER 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 133 S MADISON ST)	6-27-690	54	\$1,484.17	0		\$0.00	\$1,484.17

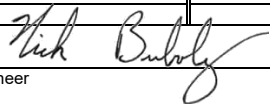
OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
CHRISTOPHER B HIONIS & AMY L HIONIS 3 W LIBERTY ST EVANSVILLE WI 53536-1313	6-27-710	82	\$2,260.93	520		\$6,152.17	\$8,413.10
MNM RENTALS LLC 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 213 S MADISON ST)	6-27-711	44	\$1,220.63	50		\$591.56	\$1,812.18
TYLER J SCHNELL & SHANNON K SCHNELL 223 S MADISON ST EVANSVILLE WI 53536-1321	6-27-712	29	\$804.50	25		\$295.78	\$1,100.28
IVAN L LEGLER & PEGGY L LEGLER 229 S MADISON ST EVANSVILLE WI 53536-1321	6-27-713	0	\$0.00	0		\$0.00	\$0.00
KATHLEEN D EDWARDS & TIMOTHY 237 S MADISON ST EVANSVILLE WI 53536-1321	6-27-714	16	\$443.86	0		\$0.00	\$443.86
TERRY DELZER & KRISTINA SMITH 305 S MADISON ST EVANSVILLE WI 53536-1323	6-27-715	0	\$0.00	0		\$0.00	\$0.00
PLEASY BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 309 S MADISON ST)	6-27-716	0	\$0.00	0		\$0.00	\$0.00
STEVEN J CHRISTENS & CHRISTINE 15 N 2ND ST EVANSVILLE WI 53536-1147 (FOR 313 S MADISON ST)	6-27-717	0	\$0.00	0		\$0.00	\$0.00
MALLORY ISBELL 323 S MADISON ST EVANSVILLE WI 53536-1347	6-27-726	0	\$0.00	0		\$0.00	\$0.00
BRETT G MEYER 329 S MADISON ST EVANSVILLE WI 53536-1347	6-27-727	0	\$0.00	0		\$0.00	\$0.00
BARBARA A MAY 337 S MADISON ST EVANSVILLE WI 53536-1347	6-27-728	0	\$0.00	0		\$0.00	\$0.00
AUSTIN FRENZEL & SARAH GORSLINE 345 S MADISON ST EVANSVILLE WI 53536-1347	6-27-532.2	0	\$0.00	0		\$0.00	\$0.00
SHEILA J NELSON 351 S MADISON ST EVANSVILLE WI 53536-1347	6-27-532.1	0	\$0.00	0		\$0.00	\$0.00

OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
APRIL L STEINDL 405 S MADISON ST EVANSVILLE WI 53536-1325	6-27-729	0	\$0.00	0		\$0.00	\$0.00
DARLENE E VAN BEEK TRUST 411 S MADISON ST EVANSVILLE WI 53536-1325	6-27-730	0	\$0.00	0		\$0.00	\$0.00
JENNA MC KEE 413 S MADISON ST EVANSVILLE WI 53536-1325	6-27-731	0	\$0.00	0		\$0.00	\$0.00
MARGARET J FUNK & LEJUANA E MEADE 425 S MADISON ST EVANSVILLE, WI 53536-1325	6-27-732	0	\$0.00	0		\$0.00	\$0.00
SHANE MICHAEL GERARD 429 S MADISON ST EVANSVILLE WI 53536-1325	6-27-733	0	\$0.00	0		\$0.00	\$0.00
ROESSLER GROVE PROPERTIES LLC 42 GROVE ST EVANSVILLE WI 53536-1103 (FOR 435 S MADISON ST)	6-27-734	0	\$0.00	90		\$1,064.80	\$1,064.80
PLEASY R BERG & PLASY BERG TRUST (AKA) 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 459 S MADISON ST)	6-27-740.1	0	\$0.00	0		\$0.00	\$0.00
PLEASY R BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 501 S MADISON ST)	6-27-740.2	0	\$0.00	0		\$0.00	\$0.00
PROPERTY GAP	N/A						
PLEASY R BERG TRUST 102 E MAIN ST EVANSVILLE WI 53536-1124 (FOR 515 S MADISON ST)	6-27-988	0	\$0.00	0		\$0.00	\$0.00
LILLIAN M JONES 6923 N STATE ROAD 213 EVANSVILLE WI 53536-8425	6-20-302.2	0	\$0.00	0		\$0.00	\$0.00
JJ HURST LLC 3324 N OLD 92 EVANSVILLE WI 53536-8569 (FOR 6939 N STATE RD 213)	6-27-993	83	\$1,398.38	540		\$4,576.50	\$5,974.88
CITY OF EVANSVILLE PO BOX 529 EVANSVILLE WI 53536-5060 (FOR 535 S MADISON ST)	6-27-987	0	\$0.00	0		\$0.00	\$0.00

OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
EAST SIDE OF SOUTH MADISON STREET (Main Street to Garrison Drive)							
DAVIS LAND LLC 1949 N MILTON SHOPIERE RD MILTON WI 53563-8695 (FOR 1 & 3 E MAIN ST)	6-27-108	54	\$1,498.04	0		\$0.00	\$1,498.04
DAVIS LAND LLC 1949 N MILTON SHOPIERE RD MILTON WI 53563-8695 (FOR 8 S MADISON ST)	6-27-109	7	\$194.19	0		\$0.00	\$194.19
ARNDT ENTERPRISES LLC 10325 W COUNTY ROAD M EVANSVILLE WI 53536-8805 (FOR 16 S MADISON ST)	6-27-613	0	\$0.00	235		\$2,780.31	\$2,780.31
TRIPLE L CONDOMINIUM, ATTN: CITY CLERK 31 S MADISON ST EVANSVILLE WI 53536-1317 (FOR 24 S MADISON ST)	6-27-614	16	\$429.99	0		\$0.00	\$429.99
SCOT WILLIAMS & JENNIFER WILLIAMS 1045 HILLCREST LN OREGON WI 53575-2612 (FOR 30 S MADISON ST)	6-27-615	15	\$416.12	0		\$0.00	\$416.12
MARY ENGEL REVOCABLE LIVING TRUST 34 S MADISON ST EVANSVILLE WI 53536-1318	6-27-616	9	\$235.80	0		\$0.00	\$235.80
SEKHON ENTERPRISES LLC 104 S MADISON ST EVANSVILLE WI 53536-1320	6-27-631	64	\$1,761.59	485	57.5	\$7,025.75	\$8,787.33
JACOB L SCHOENENBERGER & ANN M SCHOENENBERGER 114 S MADISON ST EVANSVILLE WI 53536-1320	6-27-160	2	\$41.61	0		\$0.00	\$41.61
HANS BORTH 122 S MADISON ST EVANSVILLE WI 53536-1320	6-27-159	25	\$693.54	0		\$0.00	\$693.54
ALAN D TOMLIN & JACQUELINE M TOMLIN 134 S MADISON ST EVANSVILLE WI 53536-1320	6-27-158	74	\$2,039.00	0		\$0.00	\$2,039.00
EVANSVILLE ECUMENICAL CARE CLOSET LTD PO BOX 651 EVANSVILLE WI 53536-6070 (FOR 202 & 206 S MADISON ST)	6-27-249	42	\$1,165.14	0		\$0.00	\$1,165.14
MNM RENTALS LLC 17730 W EMERY RD EVANSVILLE WI 53536-9221 (FOR 212 S MADISON ST)	6-27-250	55	\$1,525.78	50		\$591.56	\$2,117.34

OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
STEVEN MCCOMB & ABIGAIL MCCOMB 222 S MADISON ST EVANSVILLE WI 53536-1322	6-27-251	32	\$887.73	85		\$1,005.64	\$1,893.37
ALEXANDRA R IVERSON 230 S MADISON ST EVANSVILLE WI 53536-1322	6-27-252	24	\$665.80	0		\$0.00	\$665.80
CAROLYN J BUTTS 302 S MADISON ST EVANSVILLE WI 53536-1324	6-27-649	0	\$0.00	0		\$0.00	\$0.00
CYNTHIA A HOVORKA 5541 N EAGLE RD EVANSVILLE WI 53536-8757 (FOR 308 S MADISON ST)	6-27-649.1	0	\$0.00	0		\$0.00	\$0.00
DARREN J DAVENPORT & KATIE G DAVENPORT 312 S MADISON ST EVANSVILLE WI 53536-1324	6-27-650	0	\$0.00	0		\$0.00	\$0.00
PAULA J DUERST 322 S MADISON ST EVANSVILLE WI 53536-1324	6-27-272	0	\$0.00	0		\$0.00	\$0.00
MELISSA TOWN & JEANNIE TOWN 328 S MADISON ST EVANSVILLE WI 53536-1324	6-27-273	0	\$0.00	0		\$0.00	\$0.00
ELLA RUTH FORSTROM 336 S MADISON ST EVANSVILLE WI 53536-1324	6-27-655	0	\$0.00	0		\$0.00	\$0.00
DIANNE C DUGGAN 342 S MADISON ST EVANSVILLE WI 53536-1324	6-27-656	0	\$0.00	0		\$0.00	\$0.00
MEGAN C WHITE 348 S MADISON ST EVANSVILLE WI 53536-1324	6-27-657	0	\$0.00	0		\$0.00	\$0.00
MICHAEL J CONNERS & TRACI L GRABER 402 S MADISON ST EVANSVILLE WI 53536-1326	6-27-658	0	\$0.00	0		\$0.00	\$0.00
JEFFREY C SCHULTHESS 408 S MADISON ST EVANSVILLE WI 53536-1326	6-27-659	0	\$0.00	0		\$0.00	\$0.00
TRISHA FORMAN 414 S MADISON ST EVANSVILLE WI 53536-1326	6-27-660	0	\$0.00	0		\$0.00	\$0.00
TONI A SPERRY 422 S MADISON ST EVANSVILLE WI 53536-1326	6-27-661.1	0	\$0.00	0		\$0.00	\$0.00
MARIANA KAMP 430 S MADISON ST EVANSVILLE WI 53536-1326	6-27-662	0	\$0.00	0		\$0.00	\$0.00

OWNER	PARCEL NUMBER	Sidewalk Length (ft.)	Sidewalk Cost	Concrete Driveway Area (sq. ft.)	Asphalt Driveway Area (sq. ft.)	Driveway Cost	Total
DANIEL G COBB 448 S MADISON ST EVANSVILLE WI 53536-1326	6-27-662.1	0	\$0.00	0		\$0.00	\$0.00
KENNETH C NEHLS SR 456 S MADISON ST EVANSVILLE WI 53536-1326	6-27-663	0	\$0.00	0		\$0.00	\$0.00
GARRETT WALKER 464 S MADISON ST EVANSVILLE WI 53536-1326	6-27-664	0	\$0.00	0		\$0.00	\$0.00
SCOTT HATLEVIG & GISELLA HATLEVIG 468 S MADISON ST EVANSVILLE WI 53536-1356	6-27-665	0	\$0.00	0		\$0.00	\$0.00
JUST BEYOND THE WILLOW LLC 205 N 6TH ST EVANSVILLE, WI 53536-1060 (FOR 510 S MADISON ST)	6-27-983A	0	\$0.00	0		\$0.00	\$0.00
J VIAENE PROPERTIES LLC 201 KINGSTON WAY WAUNAKEE WI 53597-1709 (FOR PROPERTY WITHOUT ADDRESS)	6-20-281	0	\$0.00	0		\$0.00	\$0.00
J VIAENE PROPERTIES LLC 201 KINGSTON WAY WAUNAKEE WI 53597-1709 (FOR 520 S MADISON ST)	6-27-983.2	0	\$0.00	0		\$0.00	\$0.00
PRAIRIE CROSSING CONDO PO BOX 75 EVANSVILLE WI 53536-0075 (FOR PROPERTY WITHOUT ADDRESS)	6-27-983.6	0	\$0.00	0		\$0.00	\$0.00
TOTALS		817	\$21,785.60	2,247	57.5	\$26,053.93	\$47,839.54



Nick Bubolz, P.E., City Engineer

RESOLUTION #2023-24
CITY OF EVANSVILLE

**FINAL RESOLUTION AUTHORIZING PUBLIC IMPROVEMENT
AND LEVYING SPECIAL ASSESSMENTS
AGAINST BENEFITTED PROPERTY IN EVANSVILLE, WISCONSIN**

WHEREAS, the governing body of the City of Evansville, Wisconsin, held a public hearing at the City Hall, 31 South Madison Street, at 6:00 p.m. on the day of April 12, 2022, for the purpose of hearing all interested persons concerning the preliminary resolution and report of the City Engineer on the proposed public improvements consisting of the Liberty Street, Old Highway 92, and Madison Street Sidewalk & Utility Improvements and preliminary assessments against benefitted property, and heard all persons who desired to speak at the hearing;

NOW, THEREFORE, BE IT RESOLVED, the governing body of the City of Evansville, Wisconsin, determines as follows:

1. The report of the city engineer, including the plans and specifications and assessments set forth therein, has been adopted and approved.
2. The city engineer has advertised for bids and supervised construction of the improvements in accordance with the report hereby adopted.
3. Payment for the improvements shall be made by assessing up to 50% of the cost to the property benefitted as indicated in the report.
4. Assessments shown on the report represent an exercise of the police power and have been determined on a reasonable basis and are hereby confirmed.
5. Assessments for all projects included in the report are hereby combined as a single assessment but any interested property owner may object to each assessment separately or all assessments jointly for any purpose.
6. Assessments shall be due within 30 days of billing date. Assessments may be paid in cash or in 10 annual installments. Installments shall be placed on the next tax roll after the due date for collection and shall bear interest at the rate of 2.7% per annum on the unpaid balance ((from due date) January 1 of the year following the levy)). Installments or assessments not paid when due shall bear additional interest on the amount due at the rate of 0.8% per annum.
7. The city clerk shall publish this resolution as a class 1 notice under ch. 985, Stats., in the assessment district and mail a copy of this resolution and a statement of the final assessment against the benefitted property together with notice of installment payment privileges to every property owner whose name appears on the assessment roll whose post office address is known or can with reasonable diligence be ascertained.

Passed this 12th day of September, 2023.

CITY OF EVANSVILLE

By: _____
Dianne C. Duggan, Mayor

Attest: _____
Leah L. Hurtley, City Clerk

Introduced: 9/12/2023
Adopted: 9/12/2023
Published: 9/20/2023



Community Development Department

City of Evansville

www.ci.evansville.wi.gov
31 S Madison St
PO Box 529
Evansville, WI 53536
(608) 882-2266

September 8, 2023

STAFF MEMO

TO: Common Council
FROM: Colette Spranger, Community Development Director
RE: Hop Garden Brewery and Taproom Revolving Loan Fund Agreement

The City of Evansville established a revolving loan fund over two decades ago for the purpose of helping Evansville businesses. Three loans have been distributed since 2018 – two forgiven and one repaid in full.

The application for review was submitted by Rich Joseph. The applicant owns Hop Garden Brewery and Taproom at 18 E Main. The Community Development Director received the application in April 2023 and has determined it complete. The Economic Development Loan Review Board met on June 12, 2023 to review the application and discuss needs with the applicant. The Loan Review Board recommended approving the application subject to the conditions at the end of this report. The Economic Development Committee reviewed the application at its August 21, 2023 meeting and recommended approval of the application and draft agreement. A draft of the loan agreement, promissory note, and amortization schedule is provided tonight. It has been reviewed by the City Attorney.

A satisfactory criminal and financial background check on the applicant was performed by the Evansville Police Department.

The \$25,000 loan amount will help offset the costs of brewing equipment and electrical upgrades to support the restaurant and brewery.

Pending further discussion of the application, Common Council may make the following motion:

Motion to approve application RLF-2023-01 for a loan to purchase equipment and improve the site in the amount of \$25,000 with an Interest Rate at 3% for a term not to exceed 5 years including the following conditions:

- 1. A primary (UCC) security position on all purchased equipment and existing equipment not to exceed a value of \$25,000.***
- 2. Applicant agrees to the terms and signs the final loan agreement.***
- 3. Applicant provides an itemized list of what will be purchased.***

Economic Development Revolving Loan Fund

Applicant Information:
Instructions, Checklist and Application



City of Evansville, Wisconsin

Approved by Economic Development Committee on March 21, 2016

Contact the Community Development Director for application assistance:
colette.spranger@ci.evansville.wi.gov or (608)-882-2263

PURPOSE

The RLF is designed to facilitate business development projects within the City of Evansville that create investment and employment opportunities for start-up and expanding businesses.

ELIGIBILITY

Any Chief Executive Officer, President, or owner seeking to establish a new operation, expand an existing or start-up a new business in the City of Evansville area, may submit an application. Municipal officials, employees, agents or Common Council Members who exercise decision-making functions or responsibilities relating to the RLF are prohibited from receiving program funds. No loans will be made which are in conflict with any applicable local, state and federal statutes.

Loans *cannot* be used for debt financing, non-essential specialized equipment, residential projects (unless directly related to business conversion), studies or other “soft” costs, maintenance, the payment of assessments for public utilities, or involuntary relocation payments. Nor can funds be used to finance any of the following businesses: speculative investment and/or real estate investments, non-profit business or corporations (unless paying property taxes or a payment in lieu of taxes), lending institutions, gambling operations, non-public recreation facilities, religious organizations or groups, or education facilities.

The following activities are eligible for program funds: land, building, and fixed equipment acquisition; site preparation and construction, including site clearance, demolition, removal or rehabilitation and improvements; the reconstruction or installation of buildings and fixed equipment; working capital, including marketing; workforce development and/or training.

REQUIREMENTS

To be eligible for funding, all of the following minimum conditions will be considered:

1. A minimum of \$1 dollar of private funds leveraged for every \$1 dollar of loan funds requested. Matching funds will be determined on a case by case basis and may include in-kind labor hours, equipment purchases, business expenses, etc.;

2. Demonstration of need based on balance sheet, income statement and cash flow statement.
3. The creation/retention of at least [1] full-time equivalent, permanent position - excluding those filled by owners/partners or family members - for every \$20,000 program funds requested;
4. Project viability and ability to repay the loan;
5. Compliance with all applicable local, state, federal codes and laws;
6. Project completion within 24-months of loan approval, detailing hiring, construction and other relevant time-bound schedules.
7. Satisfactory completion of criminal and financial background check

CONDITIONS

Applications may be submitted at any time during the year. All completed applications are subject to review by Evansville Economic Development Committee and the RLF Review Board. The City's Common Council determines all final loan decisions.

Loan amounts are subject to program fund availability and eligibility criteria. Maximum terms excluding deferral period are as follows (not longer than the term of private financing): working capital - 5 yrs.; machinery, equipment and fixtures – 7 yrs.; and real estate - 10 yrs. Rates are negotiable per RLF Review Board and EDC approval. To secure 100% of the loan, assets to be purchased with loan proceeds and any/all other assets owned and/or used in the business, plus personal guarantees are required. No funds will be released without *written* commitments from other funding sources.

Repayment schedules are monthly; interest and/or principal may be deferred for up to one (1) year, depending on recommendations of the said review. Interest shall accrue during this deferment period, and be added to the principal loan amount. Thereafter, both interest and principal shall be collected for the remaining term of the loan to maturity. No loan shall be subject to any penalty for prepayment prior to the term of the project. However, late payment penalties are applicable.

Failure to comply with any of the provisions of the RLF may result in default. In addition to the said requirements in the Loan Recipient Obligations section, the following shall also be considered as a default:

1. Recipient's failure to create / retain the specified number of jobs within a specified time frame;
2. Failure to make any payment of interest or principal within 30 days after payment due date;
3. Defaulting on other loans with private lenders;
4. Cessation of operations or movement of business from the City;
5. Sale of the business.

DISTRIBUTION OF FUNDS

Upon Notice of Award the following conditions, in addition to those previously stated, must be met and verified prior to releasing funds:

1. Evidence of all necessary permits, licenses, and any other registration requirements;
2. Evidence of program expenditures, such as invoices, receipts, final bills, etc.;
3. Evidence of purchased and installed fixed equipment from program funds;
4. A prepared loan agreement and repayment schedule by the City;
5. A promissory note prepared by the recipient;
6. A prepared mortgage or lien instrument(s) by the City.

LOAN RECIPIENT OBLIGATIONS

All RLF recipients shall agree to comply with the following conditions. Noncompliance may result in financial penalties, notice of default, foreclosure and/or other collective actions.

1. Create/retain obligated number of jobs within 24-months of RLF Agreement;
2. All applicable local, state and federal statutes, as amended and all regulations pursuant to these acts;
3. Funds shall only be used in accordance with the Loan Agreement;
4. Recipients shall permit the City the right of performance monitoring and audit/inspection of all projects and properties assisted with loan funds. Inspections include, but not limited to, contracts, material equipment, payrolls, and conditions of employment. The recipient shall comply with inspection requests within four (4) working days of the request;

5. Recipients shall keep such records of the project, as may be requested by the City. All records shall be kept for at least three years after completion of work for which the loan has been obtained.
6. Recipient shall maintain fire and extended coverage insurance on the property required during the term of the business loan. City of Evansville shall be listed as "other" or "additional" insured on the policy. Term life insurance may be required of the applicant to cover the loan balance through the life of the loan.
7. Recipient must abide by all federal laws where applicable. These include, but may not be limited to: the Civil Rights Act of 1964; the Age Discrimination Act of 1975; the Contract Work Hours and Safety Standards Act; the Copeland "Anti-Kickback" Act; and all regulations pursuant to these acts.
8. The applicant must submit annual progress reports to the EDC to give an update on the project, including minimum current and projected employment levels, and the financial statements for the period covered.

CITY OF EVANSVILLE REVOLVING LOAN FUND (RLF) APPLICATION

Instructions: Please read carefully. Prior to submitting an application, please discuss the program with City Staff to ensure all necessary materials are provided.

To receive full consideration, each applicant must provide a complete application. Incomplete applications will not be reviewed until all noted deficiencies are corrected. Applications may be resubmitted, pending review recommendations. (Please Print or Type)

APPLICANT INFORMATION and BUSINESS PROFILE

Business/Company Name: ___Hop Garden Brewing LLC

SIC Code: _____

Address: _____N8668 COUNTY ROAD D , Belleville, WI. 53508

Phone: _608.516.9649_____

Email: rich.joseph.rj@gmail.com

_____ Fax: _____

Business Ownership:

[X] Individual, [] Partnership, [] Corporation, or [] Other

Chief Executive Officer, President or Owner (Recipient): Richard Joseph

Person Preparing Application: Richard Joseph

Date of Business Incorporation or Start-Up: __March 2013

Total Number of Current Employees: _15____, provide breakdown below:

Clerical _____, Skilled _____, Semi-skilled _15____, and Professional _____

Part-Time _15____, specify avg. weekly hours per employees:

__Seasonal 5-15 hrs week_____

Full-Time _____, specify avg. weekly hours per employees: _____

Type of Business:

[X] Service, [] Retail, [] Industrial/Manufacturing, or [] Other: _____

Most Recent annual Revenue and Profits: Revenue \$550,000 Profit \$75,000

APPLICANT INFORMATION and BUSINESS DESCRIPTION

As an attachment please provide the following financial information: (1) prior three years Federal Income Tax returns for both business and individual(s); (2) prior three years and current (within 90 days) signed financial statements documenting balance sheets, profit/loss statements, and accountant notes; and (3) Articles of Incorporation or partnership agreement.

Applicants have the option to either provide a written business plan (including equivalent information) as an attachment, or provide a written business description below. If attached indicate in the space provided.

Please describe the qualifications and experience of each principal associated with the current and/or proposed business noting the following items: (1) years of experience and education background, and (2) their personal involvement/ role:

Richard Joseph has been in the brewing, farming, Tap Room and Restaurant business for almost 10 years as Hop Garden Brewing LLC. Rich has a BS from the University of Wisconsin - Madison in Dairy Science and Business 1991.

Rich is the Owner of Hop Garden Brewing LLC. Rich is very involved in Tap Room operations, Kitchen Operations and at the Farm on Hop Production.

Describe the current and/or proposed business operations, noting the following items: (1) date established or proposed start-up and (2) type of operation, legal structure, markets, and products:

We are starting a Tap Room and Brewery at 18 E Main in Evansville. Rich will be brewing on a 1 bbl system to develop new products that can be used at this location as well as the Belleville location. This will be part of our Hop Garden Brewing LLC. We are currently in the permitting process.

PROJECT DESCRIPTION AND NEED

Describe the planned RLF usage; in addition attach a 24-month project timeline, noting hiring, construction, and other relevant project time schedules:

We would like help in purchasing brewing equipment and beer coolers to pour beer to our patrons. We hope to be open as soon as the permitting process is completed. That should happen in April 2023. We will be hiring 5-7 people as soon as we receive our permits.

Need for Project is Caused By: Business Expansion, Product Expansion, New Business, or Necessary to Remain in Business (explain):

Has a Market Analysis or other investigations been performed to evaluate this project's feasibility? Yes or No (If Yes, attach copies)

Description of all Project Costs

_____ Land/Building Acquisition	\$__NA_____
_____ Rehabilitation/Const.	\$__12,000_____
_____ Acquisition of Equipment	\$__26,000_____
_____ Other	\$__13,000_____

Total Amount of Loan Requested \$__30,000_____

Anticipated Source of Private Funding Match:

Not Determined

in-kind (specify): __Cash on Hand and cashing in Stocks and Bonds __

Financial Institution: _____

Has project been reviewed by a private financial institution? Yes, No
If Yes, provide institution and loan officer name: _____

Action Taken, if Any (please provide written documentation)

Approved, Denied, or Conditional

PROJECTIONS

Please attach pro forma financial statements, including all notes and schedules over a three-year period. At a minimum, these must be signed compiled statements by an independent accountant.

Total Number of New Jobs Created by Project __15__
(provide breakdown below)

Clerical _____
Semi-skilled _15_

Skilled _____
Professional ____

Part-Time _15__
Full-Time _____

Ave. Weekly Hr/Emp _____
Ave. Weekly Hr./Emp _____

Expected Salary/Wage Range (\$/hr) _____

Total Number of Jobs Retained by Project (provide breakdown below)

Clerical _____
Semi-skilled _____

Skilled _____
Professional _____

Part-Time _____
Full-Time _____

Ave. Weekly Hr/Emp _____
Ave. Weekly Hr/Emp _____

Expected Salary/Wage Range (\$/hr) _____

APPLICANT SIGNATURE AND VERIFICATION

Hop Garden History

Just south of Belleville, Rich and Michele Joseph, with help from their family and friends, grow and harvest several varieties of hops on their 20-acre farm. With a recently constructed 1,800 square foot Green House they grow a variety of vegetables and other farm-to-table ingredients to be served at their co-owned Molino Taqueria, located adjacent to the Tap Room in Paoli, at their on-farm produce stand, and also at Sunday Farmers Market in Paoli. Rich is also a founding member of the Wisconsin Hop Exchange – a coop for processing and selling Wisconsin Grown Hops to Brewmasters around the world.

Rich's vision in 2009 to be a simple hop farmer evolved. Raised with the experience of working in family farming of tobacco fields, baling hay and milking cows, his passion for homegrown hops and brewing beer led to great success in the hop farming and craft beer industry. His experience, innovation and tireless work-ethic has resulted in owning and operating a family hop farm business; supporting brewers through the sale of his hops; brewing an array of signature and seasonal craft brews; operating a tap room and beer garden that offers farm-to-glass beer, and farm-to-table food at co-owned Molino Taqueria; and selling Hop Garden Brewing craft beer through grocery and liquor stores, bars and restaurants throughout Southern Wisconsin.



2010

Established a 25 plant test plot near Neosho, WI



2011

Founding Member of Wisconsin Hops Exchange



2012

Established a two acre Hop Yard near Neosho, WI



2013

Established Hop Garden Farm in Belleville, WI



2014

Launched the Hop Garden's first beer and self-distributed locally



2015

Opened the Hop Garden Tap Room in Paoli, WI



2016

Completed Construction of Hop Garden Hop Yard



2020

Founded Farm Kitchen LLC. Molino Taqueria opened in the historic Paoli Mill complex

APPLICANT SIGNATURE AND VERIFICATION

I/WE HAVE READ AND UNDERSTAND THE CONDITIONS, OBLIGATIONS AND REQUIREMENTS ASSOCIATED WITH THE CITY OF EVANSVILLE REVOLVING LOAN FUND (RLF). I/WE ALSO UNDERSTAND THAT THIS INITIAL APPLICATION WILL BE UTILIZED TO DETERMINE RLF ELIGIBILITY. I/WE AGREE TO PROVIDE ADDITIONAL INFORMATION AS REQUESTED BY THE ECONOMIC DEVELOPMENT COMMITTEE AND/OR OTHER RELEVANT PARTIES, INCLUDING A CRIMINAL AND FINANCIAL BACKGROUND CHECK



Signature

Richard L. Joseph

Name (type or print)

Owner

Title

4-24-23

Date

Signature

Name (type or print)

Title

Date

***** Official Use Only *****

Date Submitted 4/24/23

Review Date 6/12/23

Loan Review Board Recommendation Approved Disapproved

Explanation _____

Action taken by EDC Approved Disapproved

Explanation _____

ECONOMIC DEVELOPMENT REVOLVING LOAN FUND CHECKLIST	
Complete RLF Application	
Business Profile. Written description of the business including the following:	
<input checked="" type="checkbox"/>	A brief history of the existing or proposed business including when it started or is to start, type of operation, legal structure, markets, and products.
<input checked="" type="checkbox"/>	Key customers and clients, if requested to verify the soundness of the business plan.
<input checked="" type="checkbox"/>	A brief personal resume of each principal associated with the business including: years of experience, educational background, and personal involvement in the proposed or existing business.
<input checked="" type="checkbox"/>	Three years of financial history (if applicable) compiled, reviewed or audited in accordance with generally accepted accounting principles, including balance sheets, profit/loss statements, and accounting notes.
Project Description. Written description of how the business plans to use the requested funds, including the following:	
<input checked="" type="checkbox"/>	Sources and Uses of Funds Statement
	18 month project timeline
<input checked="" type="checkbox"/>	Lender Commitment Letters/ Loan Documentation. Written commitments/ documentation of commitments from all other lenders making loans to the project, including the following:
<input type="checkbox"/>	Descriptions of the type of loan being made by the lender (First mortgage, permanent financing, construction financing, etc.).
<input type="checkbox"/>	The amount of the loan, interest rate, term, and security.
<input type="checkbox"/>	Statements that the loan is contingent only on the receipt of program financing, if applicable.
Financial Projections. Financial statements over a three-year period or until a break-even point is reached. (Assuming business will receive the requested loan) Statements should be at a minimum accepted accounting principles and clearly show the requested loan is necessary to make the project work. Please include the following:	
	Balance sheet
	Income statement
	Cash flow statement
Background Check Paperwork	
Proof of insurance (e.g. Product Liability, Life, etc.)	
Articles of Incorporation and/or relevant business organization status documentation	
Other Relevant Documentation. The Loan Review Board or Economic Development Committee may require additional information as needed.	



Colette Spranger <colette.spranger@ci.evansville.wi.gov>

Fwd: Estimate 4790 from High Country Electric, LLC

1 message

Rich Joseph <rich.joseph.rj@gmail.com>

Tue, May 23, 2023 at 7:40 AM

To: Jason Sergeant <jason.sergeant@ci.evansville.wi.gov>, Colette Spranger <colette.spranger@ci.evansville.wi.gov>, Erin Ruppenthal <erin@savvyowmarketing.com>, Susan Farnsworth <sfarnsworth59@gmail.com>

Hi All,

Enclosed is an estimate of the cost of improving electrical to 18 E. Main. For us to run the brewing system and a full kitchen this has to be done. Unfortunately it is about the same cost as the brewing system itself. We will have a 200 amp breaker in the office area so that we can run even more lines as we need to. Not sure how they ever powered a kitchen in there without this. We are really getting to be known for our BBQ in Paoli and we will be bringing the same menu to Evansville.

I am very confident that the business will be worth it. It would be nice to get some city support and somehow stretch the cost out if possible.

Rich

----- Forwarded message -----

From: **High Country Electric, LLC** <quickbooks@notification.intuit.com>

Date: Mon, May 22, 2023 at 1:20 PM

Subject: Estimate 4790 from High Country Electric, LLC

To: <rich.josephrj@gmail.com>

Dear Hop Garden Brewing LLC,

Please find your estimate details here. Feel free to contact us if you have any questions. We look forward to working with you.

Have a great day!
High Country Electric, LLC

----- Estimate -----

N3581 BIRCHWOOD DR.
POYNETTE, WI 53955 US
(608) 635-7696

Estimate #: 4790
Date: 05/22/2023
Exp. Date: 06/05/2023
\$11,948.00

Address:

Hop Garden Brewing LLC
N8668 County Road D
Belleville, WI 53508

Job Address: N8668 County Rd. D Belleville

Activity	Description	Qty	Rate	Amount
PRICE INCL**	Install (1) overhead 320amp single phase electric service with (1) QO 200amp panel with main and (1) QO 100amp panel with main- panels mounted in room behind meter			11,948.00
	* Also 125amp single phas			


hook-up of beer machine
 * I did not include the disconnect in quote for the beer machine, if needed the cost will be extra- can see electric panel from machine
 * If inspector insists on a disconnect add 480.00 to quote for beer machine
 ** Cost breakdown- 2men 2days @ 79.00 per hr. to build the service- 2528.00
 ** (1) day to finish service and machine hook-up- 2men- 1264.00
 ** Parts cost- other than the meter- 5690.00
 * Rental for lift cost per day - 391.00 plus 75.00 for drop off and pick up fee- 466.00 per day- included in quote
 ** Meter cost- 2000.00 (w already purchased)
 * Permit fee- (whatever it is)?? So not added in quote

Exclusions** Exclusions No permit fee, no patching, paintin or trash removal.

ExclusionsBecause of current market conditions, prices on materials, copper wire and steel are subject to change unless noted otherwise.

Exclusion If any additional electrical work, not covered by this proposal, were ordered by the electrical inspector, there would be an additional charge for that work

 Total: \$11,948.00

 Estimate_4790_from_High_Country_Electric_LLC.pdf
 17K



Colette Spranger <colette.spranger@ci.evansville.wi.gov>

Hop Garden and Farm Kitchen Sales

1 message

Rich Joseph <rich.joseph.rj@gmail.com>
To: Colette Spranger <colette.spranger@ci.evansville.wi.gov>

Thu, Apr 27, 2023 at 12:49 PM

Hi Colette,

Attached are our sales for Hop Garden and Farm Kitchen. These are separate businesses owned by me. In Evansville the Beer and the Food will be together. My expectation is that we will see similar numbers in Evansville to the combination of the numbers from Paoli.

So the combination of the two business are below:

2022 Gross Sales \$499,375

2021 Gross Sales \$505,864

2020 Gross Sales \$316,051


We are very heavily weather dependent in Paoli. I am planning on the Evansville location to be much more steady throughout the year since it will be in a downtown and not a bit out in the country.

Let me know if there is anything else I need to provide to you,

Rich

2 attachments

 **Hop Garden Sales by Year.numbers**
154K

 **sales-summary-2022-01-01-2022-12-31 (2).numbers**
155K

ECONOMIC DEVELOPMENT REVOLVING LOAN FUND (RLF)

AGREEMENT BETWEEN THE

CITY OF EVANSVILLE, WI

AND

HOP GARDEN BREWING LLC

This Agreement is entered into this 12th day of September, 2023, by and between the City of Evansville (“CITY”) and HOP GARDEN BREWING LLC (“BORROWER”).

Witnesseth

WHEREAS, the BORROWER has applied to CITY for economic development assistance under the Revolving Loan Fund (RLF) program to undertake activities consistent with the program requirements; and

WHEREAS, on September 12, 2023 the Common Council, relying on the representations in the BORROWER’s application and the recommendations of the Economic Development Committee and RLF Loan Review Board, agreed to lend TWENTY-FIVE THOUSAND DOLLARS (\$25,000) to the BORROWER to be utilized in accordance with the terms and conditions of the Agreement;

NOW, THEREFORE, for valid consideration, the receipt of which is hereby acknowledged, and in consideration for the promises and covenants in this Agreement, CITY and the BORROWER agree as follows:

1. Definitions: For purposes of this Agreement

- a. “Agreement” means the “ECONOMIC DEVELOPMENT REVOLVING LOAN FUND (RLF) AGREEMENT BETWEEN THE CITY OF EVANSVILLE AND HOP GARDEN BREWING LLC” with any future amendments, modifications, or alterations thereof.
- b. “Application” means the BORROWER’s April 11th, 2023 RLF application and all attachments thereto by reference as Exhibit A.
- c. “BORROWER” means RICHARD JOSEPH or HOP GARDEN BREWING LLC together with its successors and assigns.
- d. “CITY” means the City of Evansville, together with its successors and assigns.

- e. “Eligible Costs” shall mean all costs and expenditures actually incurred by the BORROWER in 2023 up to TWENTY-FIVE THOUSAND DOLLARS (\$25,000) as more fully described in the City of Evansville “Economic Development Revolving Loan Fund Policies and Procedures Manual.”
- f. “Full Time (FT) Position” means any permanent, non-seasonal full-time position where an employee is required, as a condition of employment, to work at least 36 hours per week.
- g. “Project” means the real estate acquisition, real estate improvements and equipment purchases described within the BORROWER’s Application.
- h. “Project Personal Property” means the manufacturing, office and other equipment described within Exhibit B.
- i. “Promissory Note” means the Promissory Note that is attached hereto and incorporated by reference as Exhibit C.
- j. “Soft Costs” shall mean any of the following: moving fees, legal fees and accounting fees, insurance premiums and commitment fees.

2. CITY’s Loan Obligations

- a. Subject to the terms and conditions in this Agreement, including the BORROWER’s satisfaction of the contingencies in Paragraph 3, CITY agrees to lend TWENTY-FIVE THOUSAND DOLLARS (\$25,000) to the BORROWER to cover Eligible Costs. CITY’s loan to the BORROWER shall be evidenced by the Promissory Note, of even date herewith, which is attached hereto and incorporated by reference as Exhibit C.
- b. Subject to the terms and conditions in this Agreement and the Promissory Note, the unpaid principal balance of the loan shall bear interest at the annual rate of THREE (3) percent. The Note shall have a term of five years. Payments will be due, in full, by the FIRST day of each month with the first payment being due November 1, 2023.
- c. The funds loaned by CITY pursuant to this Agreement shall be utilized solely to reimburse the BORROWER for Eligible Costs.
- d. The principal balance and accrued interest shall be repaid in accordance with the terms and conditions of the Promissory Note and, in any event, not later than October 1, 2028.

3. CITY's Contingencies

CITY's obligation to close and lend TWENTY-FIVE THOUSAND DOLLARS (\$25,000.00) to the BORROWER pursuant to this Agreement shall be contingent upon the BORROWER's satisfaction of each and every one of the following contingencies to the reasonable satisfaction of CITY prior to closing:

- a. The representations and warranties of the BORROWER herein and in its Application shall be true and accurate as of the date of closing.
- b. As of the date of closing, the BORROWER shall not be in default under the terms and conditions of any loan agreement, lease or financing arrangement.
- c. At or before closing, the BORROWER shall execute and deliver the following documents to CITY:
 1. A fully executed Agreement, together with any and all related loan documents.
 2. A fully executed UCC financing statement and other security documents, granting CITY a shared first security interest position in select Project Personal Property (See Exhibit B).
 3. Proof of insurance, in form and substance and from insurance companies reasonably satisfactory to CITY, certifying that the BORROWER has obtained the hazard, commercial general liability, business interruption, and other insurance required by this Agreement, and that it be listed as additionally insured to the property as covered by this agreement.
 4. Such other documents as may be reasonably required by CITY to implement and effect the terms and conditions of the Agreement.

4. Disbursement of Loan Proceeds

The BORROWER's right to disbursement of the loan shall be contingent upon its strict compliance with the terms and conditions in this paragraph:

- a. Disbursements. Disbursements shall be made for the Eligible Costs upon CITY's receipt and approval of the invoices, documentation and/or narrative/financial reports required by this Agreement.

- b. Supporting Documentation: Each request for disbursement hereunder shall be accompanied by itemized invoices or billings, including copies of invoices or billings received from vendors and suppliers and certificates from the BORROWER stating the dollar amount and the purpose of each cost and expenditure.
- c. BORROWER Contributions: The BORROWER also shall certify to CITY the dollar amount and purpose of the expenditures the BORROWER has contributed to the Project.
- e. Withholding of Disbursements: CITY, in its sole discretion, reserves the right to withhold disbursements if CITY determines: that the BORROWER has not provided adequate documentation of Eligible Costs; has failed to make adequate progress on the Project; has failed to file the required reports with CITY; or is otherwise in default under the terms and conditions of this Agreement.

5. BORROWER's Loan Payments

- a. Time shall be of the essence as to the BORROWER's payment of all principal, accrued interest and other amounts owed hereunder, which shall be delivered to CITY at the following address, or such other place or places CITY may designate, prior to the close of business, 5 PM CST, on the due dates in the Promissory Note:

City of Evansville
Attn.: Community Development Director
31 S. Madison St., PO Box 529
Evansville, WI 53536

- b. All payments called for under this agreement shall be paid by the borrower within 15 calendar days of the date when due. If the borrower fails to fulfill this obligation, the city has the option, at its discretion, to provide the borrower with written notice of this default and provide a specific demand of actions necessary to cure the default, which may include payment of late fees and penalties.

- c. The BORROWER shall bear the entire risk of loss, theft, damage, destruction or seizure of the Project Personal Property by or from any cause whatsoever. The BORROWER shall be obligated to pay the principal, interest, late charges and other amounts owed hereunder even if the BORROWER is unable to use the Project Personal Property, or any portion thereof, because of loss, damage, destruction, seizure, non-repair, lack of maintenance or any other reason.
- d. All principal payments, interest and other amounts owed hereunder shall be paid by the BORROWER regardless of any setoff, counterclaim, recoupment, defense or other rights which the BORROWER now or hereafter may have against CITY, the sellers of the Project Personal Property, the contractors and subcontractors involved in making improvements to the Project Personal Property, or any other party.

6. Taxes and Fees

Except as otherwise provided for and contemplated in this Agreement and the BORROWER's loan application, the BORROWER shall keep the Project Personal Property free and clear of all judgments, levies, liens, security instruments, and encumbrances, and shall pay all federal, state and local fees, assessments, charges and taxes which now or hereafter may be assessed or imposed upon the ownership, possession, or use of the Project Personal Property during the term of this Agreement.

7. Maintenance

- a. The BORROWER shall, at its expense:
 - 1. maintain the Project Personal Property, and all additions, attachments and accessories relating thereto used or useful in the conduct of its business, in good condition, repair and working order, ordinary wear and tear excepted; and
 - 2. furnish all labor, materials and services required to preserve and maintain the value and condition of the Project Personal Property, normal wear and tear resulting from the proper use thereof excepted.
- b. Without the written consent of CITY, the BORROWER shall not make, cause or authorize any repairs, alterations, attachments or improvements to the Project Personal Property that:
 - 1. interfere with the safe, normal and satisfactory use, operation and maintenance thereof in the BORROWER's judgement;

2. create safety hazards;
 3. adversely affect the value of the Project Personal Property; or
 4. adversely affect the BORROWER's ability to fulfill its obligations to CITY under this agreement.
- c. All additions, attachments, accessories, fixtures, improvements and repairs to the Project Personal Property shall become a permanent part thereof and, as such shall be subject to the security interests granted to CITY hereunder.

8. Repairs

In addition to its obligations in Paragraph 7 above, the BORROWER shall, at its own expense, repair or replace all Project Personal Property that is damaged or destroyed during the term of this Agreement regardless of whether such property damage or destruction is caused by the BORROWER, its agents, another person or an Act of God, flood, natural disaster, war, riot, or any other event beyond the control of the BORROWER. In the event that such repair costs are covered under and paid for by the BORROWER's insurance, the BORROWER shall promptly pay all deductibles and other sums not covered and paid for thereunder.

9. Inspection of Collateral: Notice of Location and Liens

- a. CITY and its agents shall, at any reasonable time upon two (2) working days notice, have the right to enter upon the Project Personal Property for the purposes of inspecting and observing its condition and use.
- b. The BORROWER shall give CITY prompt written notice an any and all past, present, and future material construction, mechanics, and other liens, writs of attachment, writs of execution, and other judicial liens on the Project Personal Property.
- c. Upon demand by CITY, the BORROWER shall promptly produce for inspection and copying all of the BORROWER's records relating to maintenance, repair and condition of the Project Personal Property.

10. Insurance

- a. The BORROWER shall, at its expense, procure and provide Proof of insurance, in form and substance and from insurance companies reasonably satisfactory to CITY, certifying that the BORROWER has obtained the hazard, commercial general liability, business interruption, and other insurance required by this Agreement, and that CITY is added as an insured party to such a policy.

11. Use of Project Personal Property

- a. The BORROWER shall cause the Project Personal Property to be used and operated in strict compliance with applicable federal, state and local laws and ordinances, the violation of which would materially and adversely affect the BORROWER's financial ability to comply with this Agreement.
- b. The BORROWER shall not commit, or allow others to commit, any waste with respect to the Project Personal Property.

12. "Event of Default" Defined

- a. The BORROWER's failure to pay, within thirty (30) calendar days of the due date, any of the principal payments or interest due under this Agreement;
- b. The BORROWER's failure to keep the Project Personal Property free and clear of all judgements, levies, liens, security interests, and encumbrances other than those specifically authorized and contemplated by the Agreement;
- c. The BORROWER's failure to maintain and repair the Project Personal Property in the condition required by this Agreement.
- d. The BORROWER's failure, upon written demand, to produce within two (2) working days of demand all of the BORROWER's records relating to the maintenance, repair and condition of the Project Personal Property;
- e. The BORROWER's failure to procure and maintain the insurance coverage required by this Agreement, including failure to add the CITY as an additional insured party;
- f. The BORROWER's use of the Project Personal Property in a manner or for any purpose prohibited by this Agreement.
- g. The BORROWER's failure to comply with or perform any of its other obligations under this Agreement or the Promissory Note; provided, however, that the BORROWER's failure to comply with the terms and

conditions of Paragraph 15(b) hereunder shall not be considered an “Event of Default” for purposes of this Agreement for the Promissory Note.

- h. Any assignment for the benefit of the BORROWER’s creditors, or commission of any other act amounting to a business failure;
- i. The filing, by or against the BORROWER, of a petition under any chapter of the U.S. Bankruptcy Code or for the appointment of a receiver;
- j. Any event of default of breach of the BORROWER’s obligations under the terms and conditions of any loan agreement, lease or financing arrangement;
- k. Any material misrepresentation with respect to the BORROWER’s warranties and representations under this Agreement;
- l. The cessation of operations or movement of the business or industry from Evansville, WI;
- m. The sale of the business from the BORROWER and/or a change in ownership; or,
- n. Any other action or omission by the BORROWER, which in CITY’s discretion, jeopardizes the BORROWER’s ability to fulfill its obligations under this Agreement or otherwise causes CITY to deem itself insecure.

13. CITY’s Remedies in Event of Default

- a. Upon the occurrence of any “Event of Default”, as defined in Paragraph 12 above, CITY may, at its option and in its sole discretion, communicate with the BORROWER regarding the necessary action required to avoid or cure a default; and the date by which the default must be cured to avoid foreclosure or other collection action. At any time the CITY in its sole discretion determines there is an “event of default”, the CITY may declare the BORROWER in default, terminate this Agreement effective immediately and accelerate the principal balance, accrued interest and other amounts owed by the BORROWER hereunder. Upon termination of this Agreement by CITY:
 - 1. The BORROWER shall be liable for interest on the full-unpaid principal balance at the following rates:
 - a. retroactive to the date of disbursement, the BORROWER shall be liable for interest on the full unpaid principal balance at the annual rate of ten (10) percent from the date of disbursement to the date of the first Event of Default; and

- b. from the date of the first Event of Default going forward to the date when the BORROWER's obligations hereunder are paid in full, the BORROWER shall be liable for interest on the full unpaid principal at the annual rate of ten (10) percent.
- 2. Subject to the rights of other creditors, CITY shall be entitled to the immediate possession and use of Project Personal Property, free and clear of this Agreement and any rights and interests of the BORROWER hereunder;
- b. In addition to the rights and remedies available to CITY at law, in equity or in bankruptcy, CITY shall be entitled to recover from the BORROWER an amount equal to the sum of:
 - 1. the unpaid principal balance, accrued interest, and other amounts owed by the BORROWER hereunder;
 - 2. all costs incurred by CITY in foreclosing upon, repossessing, storing, repairing, selling, leasing or otherwise disposing of the Project Personal Property;
 - 3. interest upon all damages resulting from the BORROWER's breach of this Agreement at the annual percentage rate of ten (10) percent from the date of the Event of Default to the date when the BORROWER's obligations hereunder are paid in full;
 - 4. all court costs and reasonable attorney's fees incurred by CITY in the enforcement of its rights and remedies under this Agreement; and
 - 5. any other actual or consequential damages arising from the BORROWER's default.
- c. CITY's foreclosure upon, repossession of, and subsequent sale, lease or disposition of the Projects Personal Property shall not affect CITY's right to recover from the BORROWER any and all damages caused by the BORROWER's breach of this Agreement. CITY's rights and remedies hereunder shall be cumulative, not exclusive, and shall be in addition to all other rights and remedies available at law, in equity or in bankruptcy.

14. . BORROWER's Warranties and Representations

To induce CITY to enter into this Agreement, and for other good and valuable consideration, the receipt of which is hereby acknowledged, the BORROWER hereby warrants and represents to CITY that:

- a. The BORROWER is a corporation duly organized, validly existing and in good standing under the laws of the State of Wisconsin;
- b. The BORROWER has the power and authority to carry on its business in Wisconsin and other jurisdictions as now conducted;
- c. The BORROWER is qualified to engage in business in every jurisdiction where the nature of its business makes such qualification necessary;
- d. The BORROWER is in compliance with all laws, regulations, ordinances and orders of public authorities applicable to it, the violation of which would have a material and adverse effect on the BORROWER's financial ability to comply with this Agreement.
- e. The undersigned officer and/or agent of the BORROWER is fully authorized to execute and deliver this Agreement on behalf of the BORROWER;
- f. The BORROWER is unaware of any conditions, which could subject it to any damages, penalties or clean-up costs under any federal or state environmental laws, which would have a material and adverse effect on the BORROWER's financial ability to comply with this Agreement;
- g. The BORROWER has read, fully understands, and agrees to all of the terms against the BORROWER;
- h. This Agreement is valid and enforceable in accordance with its terms against the BORROWER;
- i. The BORROWER is financially solvent and able to comply with all of the terms and conditions in the Agreement;
- j. In making these warranties and representations, the BORROWER has not relied upon any information furnished by CITY;
- k. The financial statements and other information provided by the BORROWER to CITY are complete and accurate in accordance with Generally Accepted Accounting Principles, and may be relied upon by CITY in deciding whether to enter into this Agreement with the BORROWER; and
- l. The warranties and representations herein are true and accurate as of the date of this Agreement, and shall survive the execution thereof.
- m. The BORROWER warrants that it has read and understands the City of Evansville Economic Development Revolving Loan Fund Policies and Procedures Manual. The borrower also warrants that it has complied with

said policies and procedures manual and acknowledges that any failure to do so is a default under this agreement. The borrower represents that the city has complied with the policies and procedures manual and waives any claim to the contrary.

15. Affirmative BORROWER Covenants

- a. The threshold for determining the BORROWER's compliance with the employment retention / creation requirements of paragraph 15(b) shall be ONE (1) Full-Time Equivalent (FTE) positions.
- b. The BORROWER hereby agrees to maintain a total of at least ONE (1) Full-Time Equivalent (FTE) positions until the date of the last payment due on the Business Note (hereinafter referred to as "the Target Date"). BORROWER payroll records will be utilized to confirm / verify employment levels, etc.
- c. The FTE position shall be a different person than the BORROWER.
- d. The BORROWER shall prepare, keep and maintain such books, records, and other documents as may be reasonably required by CITY to reflect and disclose:
 1. the number of new full-time positions created, kept and maintained by the BORROWER pursuant to Paragraph 15(b) above;
 2. the amount and disposition of loan funds provided and disbursed under this Agreement; and
 3. the total cost of the Project and the improvements to the Project Personal Property.
- e. All of the BORROWER's financial records shall be prepared, kept and maintained in accordance with Generally Accepted Accounting Principles. Such materials shall be retained by the BORROWER for a period of at least three (3) years following the repayment of the BORROWER's loan from CITY under this Agreement.
- f. The BORROWER hereby covenants and agrees to produce for CITY's inspection, examination, auditing and copying, upon two (2) days notice, any and all of its books, documents, papers and records which relate to this Agreement, the Project, the Project Property, the number of full-time positions created, kept or maintained as a result of this Project, and the use and disposition of the funds loaned by CITY.

- g. Within sixty (60) days after completing the improvements to the Project Personal Property, the BORROWER shall provide CITY with a financial report, in form and substance reasonably satisfactory to CITY, showing that the loan funds were expended in accordance with this Agreement. The BORROWER shall execute any necessary authorizations to allow the CITY to have contact with third-party entities that may have financial information the city wishes to review.
- h. The BORROWER hereby covenants and agrees to provide CITY with a narrative report with each request for disbursement of funds. The BORROWER's narrative reports shall state the progress of the Project, the total costs and expenditures incurred and spent on the Project, and the type and number of employees hired during the reporting period. The BORROWER may also be required to furnish CITY with a comprehensive final narrative program report within sixty (60) days after its receipt of the final disbursement. Additionally, for a period of time until the Target Date, the BORROWER shall provide CITY with quarterly updates that detail its compliance with the terms and conditions of Paragraph 15(b) of this Agreement.
- i. For the term and duration of this Agreement, the BORROWER hereby covenants and agrees not to discriminate against any employee or applicant for employment because of age, race, color, national origin, religion, sex, sexual orientation, disability, veterans status or any other status protected under applicable federal or state law. The conduct prohibited by this provision shall include without limitation, discrimination in connection with employment, promotion, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. Except with respect to sexual orientation, the BORROWER further agrees to take affirmative action to ensure equal employment opportunities for all applicants and employees. The BORROWER agrees to post in conspicuous places available for employees and applicants' employment notices to be provided by the contracting officer setting forth the provisions of this nondiscrimination clause.
- i. The BORROWER hereby covenants and agrees to pursue the activities specified in Exhibits A and B.
- j. Any funds contributed to the BORROWER by its shareholders, whether by way of capital contributions, equity or loans, shall be subordinate in payment and security interest to the rights and security interests of CITY hereunder.

16. Negative BORROWER Covenants

- a. The BORROWER shall not use any CITY funds provided under this Agreement to pay for any overhead costs, soft costs (as previously defined herein), or to replace loan funds from any other source.
- b. During the term of this Agreement, the BORROWER shall be prohibited from paying any dividends to shareholders without the prior written consent of CITY if such dividends would impair the BORROWER's ability to meet obligations to CITY or other creditors.
- c. During the term of this Agreement, the BORROWER shall be prohibited from paying any management bonus, dividends and distributions to its officers, directors and key employees without the prior written consent of CITY if such management bonuses, dividends and distributions would impair the BORROWER's ability to meet obligations to CITY or other creditors.
- d. During the term of this Agreement, the BORROWER shall be prohibited from consolidating or merging with or into any other entity, without prior written consent of CITY, and provided that such consolidation or merger does not interfere with the security interest of CITY in the Project Personal Property and that BORROWER's employment guarantees (see Sec.15.b). Written approval or disapproval from CITY, with respect to its interests detailed within this Agreement, will be provided within thirty (30) days from the original request date.
- e. During the term of this Agreement, the BORROWER shall be prohibited from selling the Project Personal Property, without prior written consent of CITY, and provided that such sale(s) does not interfere with the security interest of CITY in the Project Personal Property and the BORROWER's employment guarantees (see Sec.15.b). Written approval or disapproval from CITY, with respect to its interests detailed within this Agreement, will be provided within thirty (30) days from the original request date.
- f. During the term of this Agreement, the BORROWER covenants and agrees not to move its operations from the Evansville, WI.

17. Financial Reports: Certificates

For so long as the BORROWER shall have any obligations or liability under this Agreement, the BORROWER hereby agrees to deliver to CITY:

- a. The BORROWER's preliminary annual financial statements within sixty (60) days and final annual statements within one-hundred twenty (120) days, after the end of each fiscal year (January to December), prepared in

accordance with Generally Accepted Accounting Principles consistently applied;

- b. A certificate signed by the BORROWER, delivered with loan payments every February and August, in a form acceptable to CITY, certifying that the BORROWER has no notice or knowledge of the occurrence of any Event of Default under the Agreement;
- c. Such other financial information concerning the Agreement, the BORROWER, the Project and the Project Personal Property as CITY may reasonably request.

18. Entire Agreement

This Agreement and the accompanying loan documents, promissory note, unlimited guaranties, and exhibits contain the entire agreement of the parties concerning the BORROWER's obligations under the terms and conditions of this Agreement. This Agreement may not be amended, modified or altered except in writing signed by both the BORROWER and CITY.

19. Choice of Law

THIS AGREEMENT IS AND SHALL BE GOVERNED BY THE LAWS OF THE STATE OF WISCONSIN. If any provisions of this Agreement shall be prohibited by or invalid under Wisconsin law, such provisions shall be ineffective only to the extent of such prohibition or invalidity, without affecting the validity or enforceability of the remaining provision of this Agreement.

20. Venue: Jurisdiction

Any judicial action relating to the construction, interpretation, or enforcement of this Agreement, or the recovery of any principal, accrued interest, late charges, court costs, attorney's fees and other amounts owed hereunder, shall be brought and venued in the U.S. District Court for the Western District or the Rock County Circuit Court in Janesville, Wisconsin. **THE BORROWER HEREBY CONSENTS TO PERSONAL AND SUBJECT MATTER JURISDICTION IN THOSE WISCONSIN COURTS, AND WAIVES ANY DEFENSES THAT THE BORROWER OTHERWISE MIGHT HAVE RELATING THERETO.**

21. Waiver of Right to Jury Trial

THE BORROWER HEREBY WAIVES ITS RIGHT TO A JURY TRIAL IN CONNECTION WITH ANY JUDICIAL ACTION OR PROCEEDING THAT MAY ARISE BY AND BETWEEN CITY AND THE BORROWER CONCERNING THE CONSTRUCTION, INTERPRETATION OR ENFORCEMENT OF THIS AGREEMENT, OR THE RECOVERY OF ANY PRINCIPAL, ACCRUED INTEREST, LATE CHARGES, COURT COSTS, ATTORNEY'S FEES AND OTHER AMOUNTS THAT MAY BE OWED BY THE BORROWER HEREUNDER.

22. PERSONAL GUARANTEE

Each and every individual member of Hop Garden Brewing LLC and signatory of this agreement shall be jointly and severally liable for each and every obligation imposed upon or undertaken by the BORROWER under this AGREEMENT.

By signing this AGREEMENT, each signatory hereby grants a personal guarantee to be responsible for the obligations and duties of the BORROWER under this AGREEMENT.

This AGREEMENT and PERSONAL GUARANTEE shall be applicable to and the responsibility of all future owners of the business until the completion of this AGREEMENT.

23. Miscellaneous.

a. Effective Date.

This Agreement shall become effective upon the date of acceptance and execution by the Mayor of the City of Evansville.

b. Notices.

Notices to the BORROWER hereunder shall be sent by certified mail, return receipt requested, to:

Hop Garden Brewing LLC
Attn: Rich Joseph
N8668 County Road D
Belleville, WI 53508

Notice to CITY hereunder shall be sent by certified mail, return receipt requested, to:

City of Evansville
Attn.: Community Development Director
31 South Madison Street
Evansville, WI 53536

c. Severability.

The invalidity of any section, subsection, clause or provision of this Agreement shall not affect the validity of the remaining sections, subsections, clause or provision of this Agreement shall not affect the validity of the remaining sections, clauses or provisions thereof, which shall remain in full force and effect to govern the parties' relationship.

d. Not a Joint Venturer or Partner.

CITY and the BORROWER acknowledge and agree that under no circumstances shall CITY be considered or represented to be a partner or joint venturer of the BORROWER or any beneficiary thereof.

e. Documents.

All documents annexed hereto or required to be delivered contemporaneously with the execution and delivery of this Agreement, are expressly made a part of this Agreement as fully as though completely herein, and all references to this Agreement herein shall be deemed to refer to and include all such documents.

f. Agreement Controlling.

In the event of any conflict or inconsistency between this Agreement and the attachments hereto, the terms of this Agreement shall control.

g. Publicity.

Any publications or news releases relating to this Project shall state that this Project was supported and financed by the Revolving Loan Fund of the City of Evansville.

24. Captions

The captions in this Agreement are for convenience of reference only and shall not define or limit any of the terms and conditions herein.

IN WITNESS WHEREOF, the parties have executed this Agreement as of the first date set forth above.

City of Evansville

By: Dianne Duggan

(signature)
City of Evansville, Mayor

By: Leah Hurtley

(signature)
City of Evansville, City Clerk

By: Rich Joseph

_____ (signature)
Hop Garden Brewing, LLC

The obligations of the BORROWER stated above in this Agreement are hereby personally guaranteed by the undersigned, who state they fully understand and accept the responsibilities of the BORROWER.

Rich Joseph, Sole Member

Xxxxx, Personal Guarantor

Exhibit A: Application

Exhibit B: Project Personal Property

Exhibit C: Promissory Note

PROMISSORY NOTE

\$25,000.00

Evansville, Wisconsin

1. **Agreement to Pay.** For value received, the undersigned Maker promises to pay to the order of City of Evansville at 31 S. Madison Street, Evansville, Wisconsin the principal sum of Twenty-Five Thousand Dollars (\$25,000.00) in 60 monthly installments. The initial payment is due September 1, 2023 with future payments due on the 1st day of each consecutive month thereafter. The final installment shall be the balance due August 1, 2028.

2. **Interest Rate.** This Note bears interest on the unpaid balance before maturity at the rate of three percent (3%) per year. The interest rate will start accruing on the unpaid balance on August 31, 2023.

3. **Default Rate.** Principal or interest, or both, not paid when due, bears interest at ten percent (10%) per year until paid.

4. **Application of payments.** All amounts paid shall first be applied against accrued interest and the balance applied on principal.

5. **Consents and Waivers.** Without affecting the liability of any maker, endorser, surety, or guarantor, the holder may, without notice, renew or extend the time for payment, accept partial payments, release or impair any collateral security for the payment of this note or agree not to sue any party liable on it. Presentment, protest, demand and notice of dishonor are waived.

6. **Costs of Collection.** All makers, endorsers, sureties and guarantors agree to pay all costs of collection after default, including reasonable attorneys' fees for any and all actions including but not limited to any counter-claims against a holder of this note.

7. **Prepayment.** This note may be prepaid in whole or in part at any time without penalty.

8. **Security.** This note is secured by the personal guarantee identified in the "ECONOMIC DEVELOPMENT REVOLVING LOAN FUND (RLF) AGREEMENT BETWEEN THE CITY OF EVANSVILLE, WI AND HOP GARDEN BREWING LLC".

9. **Adoption of Agreement.** The Maker's obligations under the "ECONOMIC DEVELOPMENT REVOLVING LOAN FUND (RLF) AGREEMENT BETWEEN THE CITY OF EVANSVILLE, WI AND HOP GARDEN BREWING LLC" are adopted and incorporated as if set forth fully herein.

Dated this _____ day of August, 2023.

HOP GARDEN BREWING LLC

By Maker: _____
Richard Joseph, Sole Member

RLF-2023-01 Amortization Schedule

	Enter values
Loan amount	\$ 25,000.00
Annual interest rate	3.00%
Loan period in years	5
Start date of loan	10/1/2023
Monthly payment	\$ 449.22
Number of payments	60
Total interest	\$ 1,953.04
Total cost of loan	\$ 26,953.04

No.	Payment Date	Beginning Balance	Payment	Principal	Interest	Ending Balance
1	11/1/2023	\$ 25,000.00	\$ 449.22	\$ 386.72	\$ 62.50	\$ 24,613.28
2	12/1/2023	\$ 24,613.28	\$ 449.22	\$ 387.68	\$ 61.53	\$ 24,225.60
3	1/1/2024	\$ 24,225.60	\$ 449.22	\$ 388.65	\$ 60.56	\$ 23,836.95
4	2/1/2024	\$ 23,836.95	\$ 449.22	\$ 389.62	\$ 59.59	\$ 23,447.32
5	3/1/2024	\$ 23,447.32	\$ 449.22	\$ 390.60	\$ 58.62	\$ 23,056.72
6	4/1/2024	\$ 23,056.72	\$ 449.22	\$ 391.58	\$ 57.64	\$ 22,665.15
7	5/1/2024	\$ 22,665.15	\$ 449.22	\$ 392.55	\$ 56.66	\$ 22,272.59
8	6/1/2024	\$ 22,272.59	\$ 449.22	\$ 393.54	\$ 55.68	\$ 21,879.06
9	7/1/2024	\$ 21,879.06	\$ 449.22	\$ 394.52	\$ 54.70	\$ 21,484.54
10	8/1/2024	\$ 21,484.54	\$ 449.22	\$ 395.51	\$ 53.71	\$ 21,089.03
11	9/1/2024	\$ 21,089.03	\$ 449.22	\$ 396.49	\$ 52.72	\$ 20,692.54
12	10/1/2024	\$ 20,692.54	\$ 449.22	\$ 397.49	\$ 51.73	\$ 20,295.05
13	11/1/2024	\$ 20,295.05	\$ 449.22	\$ 398.48	\$ 50.74	\$ 19,896.57
14	12/1/2024	\$ 19,896.57	\$ 449.22	\$ 399.48	\$ 49.74	\$ 19,497.09
15	1/1/2025	\$ 19,497.09	\$ 449.22	\$ 400.47	\$ 48.74	\$ 19,096.62
16	2/1/2025	\$ 19,096.62	\$ 449.22	\$ 401.48	\$ 47.74	\$ 18,695.14
17	3/1/2025	\$ 18,695.14	\$ 449.22	\$ 402.48	\$ 46.74	\$ 18,292.66
18	4/1/2025	\$ 18,292.66	\$ 449.22	\$ 403.49	\$ 45.73	\$ 17,889.18
19	5/1/2025	\$ 17,889.18	\$ 449.22	\$ 404.49	\$ 44.72	\$ 17,484.68
20	6/1/2025	\$ 17,484.68	\$ 449.22	\$ 405.51	\$ 43.71	\$ 17,079.18
21	7/1/2025	\$ 17,079.18	\$ 449.22	\$ 406.52	\$ 42.70	\$ 16,672.66
22	8/1/2025	\$ 16,672.66	\$ 449.22	\$ 407.54	\$ 41.68	\$ 16,265.12
23	9/1/2025	\$ 16,265.12	\$ 449.22	\$ 408.55	\$ 40.66	\$ 15,856.57
24	10/1/2025	\$ 15,856.57	\$ 449.22	\$ 409.58	\$ 39.64	\$ 15,446.99
25	11/1/2025	\$ 15,446.99	\$ 449.22	\$ 410.60	\$ 38.62	\$ 15,036.39
26	12/1/2025	\$ 15,036.39	\$ 449.22	\$ 411.63	\$ 37.59	\$ 14,624.77
27	1/1/2026	\$ 14,624.77	\$ 449.22	\$ 412.66	\$ 36.56	\$ 14,212.11

No.	Payment Date	Beginning Balance	Payment	Principal	Interest	Ending Balance
28	2/1/2026	\$ 14,212.11	\$ 449.22	\$ 413.69	\$ 35.53	\$ 13,798.43
29	3/1/2026	\$ 13,798.43	\$ 449.22	\$ 414.72	\$ 34.50	\$ 13,383.70
30	4/1/2026	\$ 13,383.70	\$ 449.22	\$ 415.76	\$ 33.46	\$ 12,967.95
31	5/1/2026	\$ 12,967.95	\$ 449.22	\$ 416.80	\$ 32.42	\$ 12,551.15
32	6/1/2026	\$ 12,551.15	\$ 449.22	\$ 417.84	\$ 31.38	\$ 12,133.31
33	7/1/2026	\$ 12,133.31	\$ 449.22	\$ 418.88	\$ 30.33	\$ 11,714.43
34	8/1/2026	\$ 11,714.43	\$ 449.22	\$ 419.93	\$ 29.29	\$ 11,294.49
35	9/1/2026	\$ 11,294.49	\$ 449.22	\$ 420.98	\$ 28.24	\$ 10,873.51
36	10/1/2026	\$ 10,873.51	\$ 449.22	\$ 422.03	\$ 27.18	\$ 10,451.48
37	11/1/2026	\$ 10,451.48	\$ 449.22	\$ 423.09	\$ 26.13	\$ 10,028.39
38	12/1/2026	\$ 10,028.39	\$ 449.22	\$ 424.15	\$ 25.07	\$ 9,604.24
39	1/1/2027	\$ 9,604.24	\$ 449.22	\$ 425.21	\$ 24.01	\$ 9,179.04
40	2/1/2027	\$ 9,179.04	\$ 449.22	\$ 426.27	\$ 22.95	\$ 8,752.77
41	3/1/2027	\$ 8,752.77	\$ 449.22	\$ 427.34	\$ 21.88	\$ 8,325.43
42	4/1/2027	\$ 8,325.43	\$ 449.22	\$ 428.40	\$ 20.81	\$ 7,897.03
43	5/1/2027	\$ 7,897.03	\$ 449.22	\$ 429.47	\$ 19.74	\$ 7,467.55
44	6/1/2027	\$ 7,467.55	\$ 449.22	\$ 430.55	\$ 18.67	\$ 7,037.01
45	7/1/2027	\$ 7,037.01	\$ 449.22	\$ 431.62	\$ 17.59	\$ 6,605.38
46	8/1/2027	\$ 6,605.38	\$ 449.22	\$ 432.70	\$ 16.51	\$ 6,172.68
47	9/1/2027	\$ 6,172.68	\$ 449.22	\$ 433.79	\$ 15.43	\$ 5,738.89
48	10/1/2027	\$ 5,738.89	\$ 449.22	\$ 434.87	\$ 14.35	\$ 5,304.02
49	11/1/2027	\$ 5,304.02	\$ 449.22	\$ 435.96	\$ 13.26	\$ 4,868.07
50	12/1/2027	\$ 4,868.07	\$ 449.22	\$ 437.05	\$ 12.17	\$ 4,431.02
51	1/1/2028	\$ 4,431.02	\$ 449.22	\$ 438.14	\$ 11.08	\$ 3,992.88
52	2/1/2028	\$ 3,992.88	\$ 449.22	\$ 439.24	\$ 9.98	\$ 3,553.64
53	3/1/2028	\$ 3,553.64	\$ 449.22	\$ 440.33	\$ 8.88	\$ 3,113.31
54	4/1/2028	\$ 3,113.31	\$ 449.22	\$ 441.43	\$ 7.78	\$ 2,671.88
55	5/1/2028	\$ 2,671.88	\$ 449.22	\$ 442.54	\$ 6.68	\$ 2,229.34
56	6/1/2028	\$ 2,229.34	\$ 449.22	\$ 443.64	\$ 5.57	\$ 1,785.69
57	7/1/2028	\$ 1,785.69	\$ 449.22	\$ 444.75	\$ 4.46	\$ 1,340.94
58	8/1/2028	\$ 1,340.94	\$ 449.22	\$ 445.86	\$ 3.35	\$ 895.08
59	9/1/2028	\$ 895.08	\$ 449.22	\$ 446.98	\$ 2.24	\$ 448.10
60	10/1/2028	\$ 448.10	\$ 449.22	\$ 448.10	\$ 1.12	\$ 0.00

City of Evansville
MAYORAL PROCLAMATION
Proclamation #2023-05

LIBRARY CARD SIGN-UP MONTH 2023

WHEREAS, libraries play a crucial role in the education and development of children, from storytimes for preschoolers to college and career planning for high schoolers, fostering literacy and a love of reading;

WHEREAS, libraries are welcoming and inclusive spaces for people of all backgrounds to learn together and engage with one another across cultural, ethnic, generational, and economic lines, strengthening the social fabric of the communities they serve;

WHEREAS, libraries strive to develop and maintain programs and collections that are as diverse as the populations they serve and ensure equity of access for all;

WHEREAS, libraries help people of all ages navigate the complexities of life, providing access to research, information, and government services that allow everyone to lead more productive and fulfilling lives;

WHEREAS, libraries contribute to a strong local economy by providing access to the technology and training that are critical to the success of job-seekers, entrepreneurs, and students;

WHEREAS, in times of crisis, libraries and library professionals play an invaluable role in supporting their communities both in person and virtually;

WHEREAS, the shared resources libraries offer reduce the number of items households buy and dispose of, providing a simple way to save money, conserve resources, and reduce waste;

WHEREAS, a library card sparks creativity and empowers all people to explore new passions and interests and pursue a path of lifelong learning;

WHEREAS, libraries are cornerstones of democracy, promoting the free exchange of information and ideas for all;

THEREFORE, be it resolved that I, Dianne Duggan, Mayor, proclaim September Library Card Sign-up Month in Evansville, WI and encourage everyone to sign up for their own library card today.

Dated this 12th day of September, 2023.

Dianne C. Duggan, Mayor

ATTEST:

Leah Hurtley, City Clerk

Introduced: 9/12/2023
 Adoption: 9/12/2023
 Published: 9/20/2023

**CITY OF EVANSVILLE
RESOLUTION #2023-25**

Amending the City of Evansville’s Fee Schedule –Planning, Subdivision, and Zoning Fees

WHEREAS, Wisconsin Statutes section 66.0628(2) holds, “Any fee that is imposed by a political subdivision shall bear a reasonable relationship to the service for which the fee is imposed;”

WHEREAS, the last adjustment for fees for landowner-initiated amendments to the future land use map was July 2006;

WHEREAS, the last adjustment for fees subdivision reviews was October 2005;

WHEREAS, the last adjustment for fees zoning applications was mostly recently in 2008;

WHEREAS, the charges will be more representative of fees charged by the surrounding area and provide adequate compensation for staff time spent during plan review and execution.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Common Council of the City of Evansville that the City of Evansville’s Fee Schedule is amended, effective upon adoption, as follows:

<u>Municipal Code</u>	<u>Description</u>	<u>Old Fee</u>	<u>New Fee</u>
Chapter 94	Landowner-initiated amendment to the interim or future land use maps	\$300.00 (plus municipal consult cost)	<u>\$750.00 (plus municipal consult cost)</u>
Chapter 110-82	Preliminary application fee– Certified Survey Map	\$150.00 (plus municipal consult cost)	<u>\$300.00 (plus municipal consult cost)</u>
	Preliminary application fee– subdivision	\$300.00 (plus municipal consult cost)	
	<u>Preliminary Plat</u>		<u>\$600.00 and \$40/lot (plus municipal consult cost)</u>
	<u>Final Plat</u>		<u>\$400.00 and \$40/lot (plus municipal consult cost)</u>
Chapter 130-115	Conditional use application procedures fee	\$300.00 (plus municipal consult cost)	<u>\$400.00 (plus municipal consult cost)</u>
	<u>Conditional use application – Indoor Commercial Entertainment (B-2 district only)</u>		<u>\$150.00 (plus municipal consult cost)</u>
130-151(4)	Appeal and variance procedures fee	\$150.00 (plus municipal consult cost)	<u>\$750.00 (plus municipal consult cost)</u>
130-178	Zoning map amendment fee (re-zoning)	\$150.00 (plus municipal consult cost)	<u>\$750.00 (plus municipal consult cost)</u>

<u>Municipal Code</u>	<u>Description</u>	<u>Old Fee</u>	<u>New Fee</u>
130-207	Site Plan Review Fee	\$300.00 (plus municipal consult cost)	<u>\$500.00 (plus municipal consult cost)</u>
130-1047(b)	Processing fee for review and approval of the general development plan	\$300.00 (plus municipal consult cost)	<u>\$500.00 (plus municipal consult cost)</u>
130-1048(b)	Processing fee for review and approval of the precise implementation plan	\$300.00 (plus municipal consult cost)	<u>\$500.00 (plus municipal consult cost)</u>
130-1272(c)	Sign permit application fee	\$17.50	<u>\$75.00 plus \$0.50/sq. ft</u>
	<u>Sign permit application fee – window sign and sandwich board (B-2 district only)</u>		<u>\$30.00</u>
130-1282	Sign application non-compliance	\$35.00	<u>\$50.00</u>

Passed and adopted this _____ day of _____, 2023.

Dianne C. Duggan, Mayor

ATTEST:

Leah Hurtley, City Clerk

Introduced: 9/12/23

Adopted: : 9/12/23

Published: 9/20/2023

CITY OF EVANSVILLE
ORDINANCE #2023-07

AMENDING CHAPTER 26, CEMETERIES

The Common Council of the City of Evansville, Rock County, Wisconsin, amend Evansville Municipal Code Chapter 130 as follows:

Chapter 26

CEMETERIES¹

Article I. In General

- Sec. 26-1. Plantings.
- Sec. 26-2. Animals in cemetery.
- Sec. 26-3. Decorations.
- Sec. 26-4. Duties of ~~m~~Municipal ~~s~~Services ~~e~~Committee.
- Sec. 26-5. Finances and accounts.
- Sec. 26-6. Records.
- Sec. 26-7. Maps and plats.
- Sec. 26-8. -Entry.
- Sec. 26-9. Firearms.
- Sec. 26-10. Vehicles.
- Sec. 26-11. Disturbing property.
- Sec. 26-12. Alcohol beverages or refreshments.
- Sec. 26-13. Maintenance of order.
- Sec. 26-14. Appeals.
- Sec. 26-15. Penalty.
- Secs. 26-16--26-40. Reserved.

Article II. ~~Sales, and Fees, Transfers, Abandonment and Assessments~~

- Sec. 26-41. Issuance of deeds and agreements.
- Sec. 26-42. Transfer of internment and inurnment rights.
- Sec. 26-43. Establishment of lot, space, and niche prices and fees.
- Sec. 26-44. Amount of fees.
- Sec. 26-45. ~~Annual assessments for care of graves. Abandonment of cemetery~~
lots and annual assessments for care of graves.
- Secs. 26-46--26-60. Reserved.

Article III. Perpetual Care

¹ Cross references: Streets, sidewalks and public places, ch. 106.

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- Sec. 26-61. Required.
- Sec. 26-62. Establishment of charges.
- Secs. 26-63--26-80. Reserved.

Article IV. Interments and Disinterment

- Sec. 26-81. Payment of charges required prior to interment or inurnment.
- Sec. 26-82. Burial or cremation permit.
- Sec. 26-83. Notice and supervision of interment or inurnment.
- Sec. 26-84. Depth of graves.
- Sec. 26-85. Number of interments or inurnments.
- Sec. 26-86. Approved outer burial container required.
- Secs. 26-87--26-110. Reserved.

Article V. Improvement of Lots

- Sec. 26-111. Gradient of lots.
- Sec. 26-112. ~~Superintendent of municipal services~~ Public Works Foreperson (PWF); powers.
- Sec. 26-113. Memorials.
- Sec. 26-114. Fences or other enclosures.
- Sec. 26-115. Level of graves.
- Sec. 26-116. Definitions.

ARTICLE I. IN GENERAL

Sec. 26-1. Plantings.

(a) The landscaping of the entire cemetery is under the direction of the ~~superintendent of municipal services~~ Public Works Foreperson (PWF) and the ~~cemetary sexton~~ Cemetery Sexton. Any planting may be done only with approval from the public works director and the ~~cemetary sexton~~ Cemetery Sexton.

(b) No ledges, trees, or brushes may be planted on any lot which will eventually grow past the boundaries of the lot.

(c) If any tree or shrub, by means of its roots and growth, become dangerous or inconvenient to safe and practical passageway, which shall include vehicles, the ~~superintendent of municipal services PWF~~ or ~~cemetary sexton~~ Cemetery Sexton may enter upon the lot containing the growth and remove what ~~he-they~~ deems necessary for the benefit of the cemetery.

(d) The ~~cemetary~~ City reserves the right to trim and/or remove any planting. ~~deemed necessary.~~

(e) Annual flowers may be planted in either urns or beds, but must be located so as not to interfere with the maintenance and operations of the cemetery.

(f) All plantings, urns and flowerbeds must be approved by the ~~cemetary sexton~~ Cemetery Sexton or the ~~public works director~~ Public Works Foreperson.

(g) Chairs, settees, receptacles for cut flowers, vases, glass jars, shells, or toys which are deemed inconsistent with the proper keeping of the cemetery are prohibited. The ~~cemetary sexton~~ Cemetery Sexton or ~~superintendent of municipal services PWF~~ may remove from any lot without notice any of the above articles and any artificial or natural flowers which may be objectionable or become unsightly.

(h) The cemetery assumes no liability for damage to the property of lot owners.

(i) The cemetery assumes no responsibility for any damage to any live plants. The cemetery staff shall in turn exercise due regard and make all attempts to prevent damage to any plantings, provided they have been placed in accordance with the above rules.

(Ord. No. 2000-11, § 12(21.37), 5-9-2000, Ord. 2014-02, Ord. 2023-07)

Sec. 26-2. Animals in cemetery.

(a) Dogs and other pets are prohibited in the cemetery; service animals shall be allowed. ~~This section does not apply to service or military- dogs as defined in Wis. Stats. § 951.01(5), as may be amended.~~

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(Ord. No. 2000-11, § 10(21.35), 5-9-2000, Ord. 2014-08, Ord. 2023-07)

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Sec. 26-3. Decorations.

- (a) No more than two decorations on any marker or monument are permitted
- (b) All decorations, including solar lights, must be in a pot, vase, or placed on an approved upright support and placed within six inches of the memorial.
- (c) All summer decorations must be removed by November 11 and no winter decorations may be installed until the Monday before Thanksgiving.
- (d) All winter decorations must be on an approved upright support.
- (e) All decorations, unless placed on concrete foundation must be removed by April 15.
- (f) No decorations, other than fresh cut flowers or placed on concrete foundation, may be placed on any grave until four days prior to Memorial Day. Any decorations placed prior to this date may be removed without notice.
- (g) No decorations shall be allowed on the panel of a niche or on the columbarium, without Sexton approval.

(Ord. No. 2000-11, § 11(21.36), 5-9-2000, Ord. 2014-08, Ord. 2016-14, Ord. 2023-07)

Sec. 26-4. Duties of Municipal Services Committee.

(a) The Municipal Services Committee shall supervise the management and operation of the city cemetery, and may expend for the use, maintenance, protection, development and improvement of the cemetery such sums as are necessary within the budget established by the council and in conformity with all ordinances, resolutions and orders enacted by the council. As far as possible, the services of existing city officials and employees shall be utilized.

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(Code 1986, § 21.01; Ord. No. 2000-11, § 1(21.01(2)), 5-9-2000, Ord. 2014-02, Ord. 2023-07)

Sec. 26-5. Finances and accounts.

(a) **Allocation of lot sales receipts, interment fees and perpetual care receipts.** All city cemetery lot, space, and niche sales receipts shall go to perpetual care, as well as all annual assessments received pursuant to section 26-45. All lot, space, and niche sales receipts, interment and inurnment fees and assessments shall go into the cemetery trust fund for the maintenance and operation of the city cemetery to be held by the city treasurer ~~clerk~~ as trustee and shall be invested as provided in Wis. Stats. § 66.04(2).

(b) **Budget approval by council.** The council shall approve the budget in such an amount as is deemed necessary to maintain and operate the city cemetery for the next calendar year. The money in the account shall be expended under the direction of the superintendent of municipal services PWF for the development, improvement, upkeep

and care of the cemetery. Unless previously authorized by the council, no debt or deficit shall be incurred which cannot be fully paid by money in the cemetery account.

(c) **Duties of City eClerk-treasurer.** The City eClerk-treasurer shall serve as trustee to receive and hold money in trust according to the terms of any gift or bequest, the income of which is to be used for the improvement, maintenance, repair, preservation or ornamentation of the cemetery or any lot, niche or structure thereon. Such money shall be invested pursuant to Wis. Stats. § 66.04(2), in the same manner as money in the perpetual care fund, but separately accounted for. No additional compensation shall be paid the clerk ~~treasurer~~ for such duties, and the bond of the clerk ~~treasurer~~ shall also cover the performance of all such duties.

(Code 1986, § 21.02, Ord. 2013-11, Ord. 2014-08)

Sec. 26-6. Records.

~~_____~~(a) The city clerk ~~treasurer~~ shall ~~keep records relating to city cemeteries consisting of:~~

- ~~(1) Lot, space, and niche maps.~~
- ~~(2) An index of lot, space, and niche owners.~~
- ~~(3) An interment register.~~
- ~~(4) A burial record.~~
- ~~(5) A lot, space, or niche ownership record.~~
- ~~(6) A file of burial permits.~~

~~_____~~(b) ~~The lot, space, and niche maps shall identify each lot, space, or niche by number. be the records of Maple Hill Cemetery in accordance with state law.~~

(Code 1986, § 21.03, Ord. 2013-11, Ord. 2023-07)

Sec. 26-7. Maps and plats.

(a) *Official maps and plats.*

- (1) The official maps or plats of Maple Hill Cemetery, as amended, filed ~~in the office of~~ are filed with the eCity eClerk-treasurer, ~~and sections, lots, divisions, streets, alleys and paths as designated and shown on such maps, are fixed and determined beyond alteration, except by ordinance of the city council, and then only so as not to interfere with private rights, subject nevertheless to the lotting, subdividing and numbering of such portions of such grounds as have not already been lotted and numbered., and shall be surveyed and platted by a professional land surveyor those portions of the lands that are from time to time required for burial, into cemetery lots, drives, and walks, and record a plat or map of the land in the office of the register of deeds in accordance with Wis. Stats. §157.07.~~
- ~~(2) The official map or plat of Maple Hill Cemetery is amended by the laying out of lots along the roadway heretofore running east and west from the tool house~~

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~~across the entire width of such cemetery in accordance with the plat prepared by the city engineer dated September 15, 1964.~~

~~(3) A copy of such map or replat shall be recorded as provided by law.~~

(b) *Platting and recording of new blocks.* Before any new block of the cemetery is opened for the sale of lots, the ~~council~~ City Clerk shall cause it to be platted and recorded in the office of the register of deeds, following Council approval. ~~Six copies of the plat shall be deposited with the superintendent of municipal services and six copies with the city clerk treasurer. The plat shall be so designed as to provide direct access to each lot from either a road or walk.~~

(Code 1986, § 21.04, Ord. 2014-08, Ord. 2023-07)

Sec. 26-8. Entry.

(a) No person shall enter or leave a city cemetery except through the gates. No persons other than cemetery employees or police officers shall be within the cemetery except during the daylight hours.

(Code 1986, § 21.30, Ord. 2023-07)

Sec. 26-9. Firearms.

(a) No person shall carry any firearms in a city cemetery, except for any law enforcement officer, or except in the case of military funerals and on Memorial or Veterans Day, without the written permission of the ~~superintendent of municipal services~~ PWF.

(Code 1986, § 21.31, Ord. 2014-08, Ord. 2023-07)

Sec. 26-10. Vehicles.²

~~—~~ (a) No vehicle shall be driven in a city cemetery except on roads designated for that purpose. No vehicle shall be driven in a reckless manner.

~~—~~ (b) Snowmobiles or all terrain vehicles are prohibited in the cemetery.

(Code 1986, § 21.32; Ord. No. 2000-11, § 8(21.32), 5-9-2000)

Sec. 26-11. Disturbing property.

(a) No person, except the owner of the lot or a ~~cemetery-city~~ employee, shall cut, remove, injure or carry away any flowers, trees, shrubs, plants or vines from any lot or property in a city cemetery, or deface, injure or mark upon any markers, headstones, monuments, fences or structures, nor shall any person other than the owner injure, carry away or destroy any vases, flowerpots, urns or other objects which have been placed on any lot.

(Code 1986, § 21.33, Ord. 2023-07)

Sec. 26-12. Alcohol beverages or refreshments.³

² **Cross references:** Traffic and vehicles, ch. 122.

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(a) No person shall possess or consume any intoxicating liquor, fermented malt beverages in the cemetery.

(Code 1986, § 21.34; Ord. No. 2000-11, § 9(21.34), 5-9-2000, [Ord. 2023-07](#))

Sec. 26-13. Maintenance of order.

(a) ~~The superintendent of municipal services~~ Public Works Foreperson (PWF) and/or ~~cemetery sexton~~ Cemetery Sexton shall maintain order and shall eject any person whose conduct is objectionable or who violates this chapter.

(Ord. No. 2000-11, § 13(21.38), 5-9-2000, Ord. 2014-08, [Ord. 2023-07](#))

Sec. 26-14. Appeals.

(a) Appeals of any decision by the ~~cemetery sexton~~ Cemetery Sexton or the ~~superintendent of municipal services~~ PWF may be presented to the Municipal Services Committee.

(Ord. No. 2000-11, § 14(21.39), 5-9-2000, Ord. 2014-08, [Ord. 2023-07](#))

Sec. 26-15. Penalty.

(a) Any person who ~~shall~~ violates any provisions of this chapter shall be subject to a penalty as provided in section 1-11.

(Ord. No. 2000-11, § 15(21.40), 5-9-2000, [Ord. 2023-07](#))

Secs. 26-16--26-40. Reserved.

ARTICLE II. SALES, ~~AND FEES,~~ TRANSFERS, ABANDONMENT AND ASSESSMENTS

Sec. 26-41. Issuance of deeds and agreements.

(a) The sale of lots, spaces, and niches in the city cemetery shall be under the control of the clerk ~~treasurer~~, subject to the rules, regulations and general supervision of the council. Any applicant shall apply to the clerk ~~treasurer~~ and, upon payment for the lot, space, or niche selected, the clerk ~~treasurer~~ shall issue a deed to the lot or space or agreement for the niche in the form prescribed by the city attorney. The deed or agreement shall be signed by the clerk ~~treasurer~~ and mayor, sealed with the corporate seal and acknowledged so as to entitle it to be recorded. The purchaser may record a deed with the register of deeds.

(Code 1986, § 21.06, Ord. 2013-11, [Ord. 2023-07](#))

³ Cross references: Alcohol beverages, ch. 6.

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Sec. 26-42. Transfer of interment and inurnment rights.

(a) The transfer, in accordance with the applicable state statutes, of lots, spaces, and niches ~~lots or spaces~~ in a city cemetery previously sold may be registered with the City eClerk-treasurer by presentation of the original deed, on the back of which is written "I hereby transfer to (name of owner) (spaces(s) or portion of the lot)," and the endorsement of the original lot or space owner, or by presenting a court order evidencing transfer. This shall be acknowledged and witnessed if it is desired to record the transfer with the register of deeds.

~~The transfer, in accordance with the applicable state statutes, of niches in a city cemetery previously sold may be registered with the clerk-treasurer by presentation of the original niche reservation agreement, on the back of which is written "I hereby transfer to (name of owner) (the niche)," and the endorsement of the original niche owner, or by presenting a court order evidencing transfer. This shall be acknowledged and witnessed if it is desired to record the transfer with the register of deeds.~~

(b) Alienation, disposition and use of cemetery lots, spaces and columbarium spaces.
In this section, "owner" means a person named in the records of the cemetery authority who has an ownership interest in a cemetery lot, space or columbarium niche and a right to bury human remains in the cemetery lot, sale or columbarium niche.

(1) While any person is buried in a cemetery lot, space or columbarium space, the cemetery lot, space or columbarium space shall be inalienable, without the consent of the cemetery authority, and on the death of the last owner, full ownership of the cemetery lot, space or columbarium space shall descend as follows:

- (i) To the owner's surviving spouse or domestic partner under ch. 770.
- (ii) If there is no living member of the class designated in subd. i., to that owner's children, including by adoption.
- (iii) If there is no living member of the class designated in subd. i. or ii., to the owner's grandchildren, including by adoption.
- (iv) If there is no living member of the class designated in subd. i., ii., or iii., to the cemetery authority for the cemetery in which the cemetery lot, space or columbarium niche is located.

(2) If ownership of a cemetery lot, space or columbarium niche descends to the cemetery authority under sub. (1), the cemetery authority shall comply with Wis Stats. § 157.115 (2) for any grave in the cemetery lot, space or columbarium niche in which human remains are not buried.

(3) Any one or more persons under sub. (1) i. to iii. may, only with the consent of the cemetery authority, convey to any other person under sub. (1) i. to iii. their interest in the cemetery lot, space or columbarium niche.

(4) No human remains may be buried in a cemetery lot, space or columbarium niche except the human remains of an owner of the

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cemetery lot, space or columbarium niche, or a relative, or the spouse of an owner, or their relative, except by the consent of a majority of the owners of the cemetery lot, space or columbarium niche.

(5) The cemetery authority shall be held harmless for any decision made by a majority of the owners of a cemetery lot, space or columbarium niche.

(b)-(c) A grave or ownership transfer fee is due and payable upon recording at the Clerk's Office. This fee includes recording the property transfer. In the instance of an estate, a properly executed "affidavit for transfer of property" shall cause the transfer and recording with no fee imposed.

-(Code 1986, § 21.07, Ord. 2013-11, Ord. 2023-07)

Sec. 26-43. Establishment of lot, space, and niche prices and fees.

(a) On or before August 1 annually, the superintendent of municipal services PWF shall present to the Municipal Services Committee his- their recommendations for revision in the schedule of prices for all lots, spaces, and niches sold in any cemetery under the city's jurisdiction and for all work done for private parties by the superintendent of municipal services PWF or his assistants designees. The Municipal Services Committee shall review such recommendations and incorporate any approved changes in the budget submitted to the city council under section 26-5(b).

(Code 1986, § 21.05, Ord. 2013-11, Ord. 2014-08, Ord. 2023-07)

Sec. 26-44. Amount of fees.

(a) Fees for interment and inurnment in a city cemetery shall be as established by the council from time to time by resolution and as set forth in appendix A.

(b) Fees for cemetery lots, spaces, and niches and perpetual care charges shall be as established by the council from time to time by resolution and as set forth in appendix A.

(Code 1986, § 21.08; Ord. No. 1998-11, § 1, 8-11-1998; Ord. No. 200-11, § 2(21.08), 5-9-2000, Ord. 2013-11)

Sec. 26-45. Annual assessments for care of graves. Abandonment of cemetery lots and annual assessments for care of graves.

(a) In this subsection:

(1) "Abandoned lot" means any grave or columbarium space of a cemetery lot that is not owned by the cemetery authority of the cemetery in which the cemetery lot is located if that grave or that columbarium space has not been used for the burial of human remains and if, according to the records of the City Clerk, all of the following apply during the 50-year period immediately preceding the date on which the notice requirement under par. (c) is satisfied:

i. No owner has transferred any ownership interest in the cemetery lot to any other person.

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ii. No owner has purchased or sold another cemetery lot or a columbarium space in the cemetery.

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iii. No other grave in that cemetery lot or adjoining cemetery lot or adjoining columbarium space that is owned or partially owned by an owner has been used for the burial of human remains.

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iv. No grave marker, monument or other memorial has been installed on the cemetery lot.

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v. No grave marker, monument or other memorial has been installed on any other cemetery lot, in Maple Hill Cemetery, that is owned or partially owned by an owner.

vi. No nameplate, monument or other memorial has been installed to identify the human remains that are buried within a mausoleum space, in the same cemetery, that is owned or partially owned by an owner.

vii. The City Clerk has not been contacted by an owner or assignee or received any other notice or evidence to suggest that an owner or assignee intends to use the cemetery lot for a future burial of human remains.

(2) "Assignee" means a person who has been assigned in the deceased owner's will or in any other legally binding written agreement, or who is entitled to receive under Wis. Stats. § 852, an ownership interest in the abandoned cemetery lot.

(3) "Owner" has the meaning given in Wis. Stats. § 157.10 (1).

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(4) The City Clerk shall mail to each owner, at each owner's last-known address, a notice of the cemetery authority's intent to resell the abandoned lot as provided in this subsection. If an owner is buried in the cemetery in which the abandoned lot is located or if the cemetery authority has any other evidence that reasonably supports a determination by the cemetery authority that the owner is deceased, no notice is required under this paragraph.

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(5) If no notice is required under par. (4) or if, within 60 days after notice is mailed under par. (4), no owner or assignee contacts the City Clerk to express an intent to use the abandoned lot for a future burial of human remains, the City Clerk shall publish in a newspaper of general circulation in the county in which the abandoned lot is located, a class 3 notice under ch. 985 that includes all of the following:

i. The location of the abandoned lot.

ii. The name and last-known address of each owner.

iii. A statement that, unless an owner or assignee contacts the cemetery authority within the period specified in par. (6), the City intends to resell the abandoned lot as provided in this subsection.

(6) If within 60 days after notice is published under par. (5) no owner or assignee contacts the City Clerk to express an intent to use the abandoned lot for a

future burial of human remains, the cemetery authority shall bring an action in the circuit court of the county in which the abandoned lot is located for a judgment that the cemetery lot is an abandoned lot and an order transferring ownership of the abandoned lot to the City.

(7) If within one year after the circuit court enters a judgment and order under par. (6) no owner or assignee contacts the City to express an intent to use the abandoned lot for a future burial of human remains, the cemetery authority may resell the abandoned lot, except as provided in par. (8). The payment of principal shall be deposited into the care fund. Before depositing the payment of principal into the care fund, the City may retain an amount necessary to cover the City's administrative and other expenses related to the sale, but the amount retained may not exceed 50 percent of the proceeds.

(8) If at any time before an abandoned lot is resold under par. (7) an owner or assignee contacts the City Clerk to express an intent to use the abandoned lot for a future burial of human remains, the City may not resell the abandoned lot, and ownership of the abandoned lot shall be transferred to the owner or assignee. The City shall pay all costs of transferring ownership under this paragraph.

(9) Nothing in this subsection prohibits the City from seeking the authority to resell more than one abandoned lot by publishing a single class 3 notice under par. (5) or bringing a single action under par. (6) that applies to all of the abandoned lots for which such authority is sought.

(b) Annual assessments for care of graves. The Municipal Services Committee may make annual assessments for the maintenance and care of grave spaces in city cemeteries for which perpetual care is not provided, such annual assessment to be subject to the limitations of Wis. Stats. § 157.11. When uniform care of a lot has been given for two consecutive years or more for which assessments are unpaid under Wis. Stats. § 157.11(7), the right to interment is forfeited until delinquent assessments are paid. When uniform care has been given for five consecutive years or more and the assessments are unpaid upon like notice, title to all unoccupied parts of the lot shall pass to the city and may be sold, the proceeds to be a fund for perpetual care of the occupied portion.

(c) "Assignee" means a person who has been assigned in the deceased owner's will or in any other legally binding written agreement, or who is entitled to receive under Wis. Stats. § 852, an ownership interest in the abandoned cemetery lot.

(Code 1986, § 21.13, Ord. 2014-08, Ord. 2023-07)

Secs. 26-46--26-60. Reserved.

ARTICLE III. PERPETUAL CARE

EVANSVILLE MUNICIPAL CODE, CHAPTER 26 CEMETERIES

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Sec. 26-61. Required.

(a) **Expense to be included in lot price.** All lots, spaces, and niches hereafter sold in the city cemetery shall be provided with perpetual care services, the expense ~~to~~ shall be included in the price of the lot, space, or niche and equate to 50% of total sales cost.

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(b) **Lots and spaces previously sold without perpetual care.** Owners of lots or spaces previously sold without perpetual care must secure the benefits of perpetual care by paying to the city clerk ~~treasurer~~ a sum pursuant to the schedule which shall be set by the council as a reasonable amount for the care of such lots or spaces in perpetuity. All amounts so received shall be deposited in the city general fund.

(c) **Burial prohibited without perpetual care.** No burial shall be permitted in any grave space until the person requesting the burial, or the person interested in the lot of which the grave space is a part, provides perpetual care for the entire lot of which the grave space is a part.

(Code 1986, § 21.10, Ord. 2013-11, Ord. 2023-07)

Sec. 26-62. Establishment of charges.

(a) On or before August 1 each year, the ~~superintendent of municipal services~~ City Clerk and PWF shall submit to the ~~municipal services~~ Municipal Services ~~committee~~ Committee a schedule or amendments to the schedule of perpetual care charges for all lots, grave spaces, and niches in any cemetery under the city's jurisdiction. The ~~municipal services~~ Municipal Services ~~committee~~ Committee shall review such scheduled amendments and include its recommendations in the budget submitted to the city council under section 26-5(b).

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(Code 1986, § 21.11; Ord. No. 1998-11, § 2, 8-11-1998, Ord. 2013-11, Ord. 2014-08, Ord. 2023-07)

Secs. 26-63--26-80. Reserved.

ARTICLE IV. INTERMENTS AND DISINTERMENTS

Sec. 26-81. Payment of charges required prior to interment or inurnment.

(a) No interment or inurnment shall be allowed in any city cemetery lot, space, or niche which has not been fully paid for or where annual assessments for care of the lot are delinquent.

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(Code 1986, § 21.15, Ord. 2013-11)

Sec. 26-82. Burial or cremation permit.

(a) No interment or inurnment shall be permitted or body or cremated remains received in a city cemetery without a burial permit, cremation permit, or removal certificate issued by the register of deeds, city health officer or clerk ~~treasurer~~ of the

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place where the death occurred. Such permit or certificate shall be retained by the clerk-~~treasurer~~ as part of his-the record. All interments, disinterments and other matters relating to the disposal of bodies shall be pursuant to the state statutes and the orders of the state department of health and family services.

(Code 1986, § 21.16, Ord. 2013-11, Ord. 2023-07)

Sec. 26-83. Notice and supervision of interment or inurnment.

(a) Notice of interment or inurnment shall be given to the city clerk/~~treasurer~~ on a regular work day at least 2 full working days in advance of burial. The ~~superintendent of municipal services-PWF~~ or ~~cemetery sexton~~Cemetery Sexton must be present at all interments and inurnments and shall have full charge of the opening, closing and seeding of all graves and opening and closing of all niches.

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(b) When the instructions for opening a grave are not definite, the ~~cemetery sexton~~Cemetery Sexton or ~~superintendent of municipal services-PWF~~ will use his-their best judgment in deciding when and if a grave is to be opened.

(Code 1986, § 21.17; Ord. No. 2000-11, § 3(21.17), 5-9-2000, Ord. 2013-11, Ord. 2014-08, Ord. 2018-10, Ord. 2023-07)

Sec. 26-84. Depth of graves.

(a) The minimum depth of graves in a city cemetery shall be five feet.

(Code 1986, § 21.18, Ord. 2023-07)

Sec. 26-85. Number of interments or inurnments.

~~(a)~~(a) Not more than one interment in one grave shall be permitted in a city cemetery. One full burial and one cremation burial or two cremation burials will be allowed in each plot.

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(1) ~~except i~~In the case of infants/cherubs

(2) ~~and/or u~~Urns of ashes, where two interments, single or companion, ~~per grave~~ will be permitted, ~~except~~

~~that for good cause the municipal services committee may grant an exception, but in this case the committee must report such action to the council at its next meeting.~~

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~~(b)~~(b) Niches shall be used only for the inurnment of cremated human remains in an urn. The ashes of only one person shall be permitted in an urn. One urn shall be permitted to be inurned in a single niche; two urns or one companion urn shall be permitted to be inurned in a double niche.

(c) For good cause the Municipal Services Committee may grant an exception, but in this case the committee must report such action to the council at its next meeting.

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(Code 1986, § 21.19, Ord. 2013-11, Ord. 2014-08, Ord. 2023-07)

Sec. 26-86. Approved outer burial container required.

(a) No interment shall be permitted or body received unless it is contained in a cement, metal or other permanent type of container or vault approved by the ~~superintendent of municipal services-PWF~~ or ~~cemetary sexton~~Cemetery Sexton.

(Code 1986, § 21.20; Ord. No. 2000-11, § 4(21.20), 5-9-2000, Ord. 2014-08, Ord. 2023-07)

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Secs. 26-87--26-110. Reserved.

ARTICLE V. IMPROVEMENT OF LOTS

Sec. 26-111. Gradient of lots.

(a) No person shall change the grade of any lot nor interfere in any way with the general plan of the landscaping in the cemetery.

(Ord. No. 2000-11, § 5(21.25), 5-9-2000, Ord. 2023-07)

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Sec. 26-112. ~~Superintendent of municipal services~~ Public Works Foreperson (PWF); powers.

(a) The ~~superintendent of municipal services~~ Public Works Foreperson (PWF) or ~~cemetary sexton~~Cemetery Sexton may enter upon any lot or space and remove any shrub or tree which is deemed detrimental to the cemetery or adjoining lots or spaces or is unsightly or inconvenient to the public. ~~He~~They may also enter upon any lot or space and make any improvements deemed for the advantage of the grounds.

(Ord. No. 2000-11, § 6(21.26), 5-9-2000, Ord. 2013-11, Ord. 2014-08, Ord. 2023-07)

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Sec. 26-113. Memorials.

(a) Only one marker shall be allowed per grave, set in accordance with the rules of the cemetery. A double marker covering two spaces constitutes two markers.

(b) Only one monument shall be allowed per lot, set in accordance with the rules of the cemetery.

(c) Every memorial of any type will require an adequate concrete foundation.

(d) All monuments and markers shall be of bronze or granite and no vertical joints therein shall be permitted. No monument or marker constrained of any other materials may be erected in the cemetery.

(e) All foundations for monuments and markers and other structure must be of sufficient depth and stability to support the proposed structure. The foundations shall be flush with the ground matching the grade of the gravesite.

(f) No monument or marker may be erected until the foundation therefore has been approved by the ~~cemetary sexton~~Cemetery Sexton or the ~~superintendent of municipal serviees~~PWF and a written permit granting such approval has been issued by the city clerk/~~treasurer~~. If a monument or marker is placed before the city clerk/~~treasurer~~ issues a foundation approval permit for the monument or marker, the city may, at its sole discretion, remove the monument or marker at the expense of the owner of the cemetery lot on which it was placed.

(g) Foundation work in the cemetery shall be done by approved monument salespersons under the supervision of the ~~cemetary sexton~~Cemetery Sexton or the ~~superintendent of municipal services~~PWF.

(h) Monuments or markers shall be of a size no larger than 16 inches high by 36 inches long and 12 inches wide/depth for a single marker and 16 inches high by 48 inches long and 12 inches wide/depth for a double marker.

(i) No monuments, markers, or burials shall be placed in the walkways.

(j) The owner of a cemetery lot or space or a monument vendor may apply to the city clerk for a written permit granting approval of a foundation for a proposed monument or marker. The city council shall by resolution establish and may from time to time adjust the fee for a foundation approval permit, the amount of which is set forth in appendix A. When application for a foundation approval permit is ~~made~~submitted, the applicant shall pay the fee to the city clerk. If application is made after the monument or marker is placed, the applicant shall pay the city clerk twice the amount of the fee charged for timely applications.

(k) The exterior panel of a niche shall be able to accommodate:

- (1) an engraving of the name, date of birth, and date of death of the inurned in the font provided on Addendum A.
- (2) an optional engraving of an official emblem from the list on Addendum A, or any officially recognized symbol.
- (3) An optional photo of the inurned no larger than 3" oval or a military service plaque no larger than 3" in diameter

(l) No attached appliquéés are allowed on the exterior panel of a niche with the exception of (k) iii above.

(m) All memorials acting as inurnments shall require a burial permit per Municipal Code Sec. 26-82 and foundation permit per section 26-113(f).

Addendum A

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(Ord. No. 2000-11, § 7(21.27), 5-9-2000, Ord. 2004-20, Ord. 2013-11, Ord. 2014-08, Ord. 2014-08, Ord. 2016-14, Ord. 2018-10, [Ord. 2023-07](#))

Sec. 26-114. Fences or other enclosures.

(a) No fences or enclosures around lots shall be permitted in a city cemetery.

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(Code 1986, § 21.28, [Ord. 2023-07](#))

Sec. 26-115. Level of graves.

(a) Graves in a city cemetery shall not be raised above the level of the lot.

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(Code 1986, § 21.29, [Ord. 2023-07](#))

Sec. 26-116. Definitions.

(a) The following terms have the meanings set forth:

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- (1) GRAVE shall mean a piece of land that is used or intended to be used for an underground burial of human remains. Grave is synonymous with space and grave space.
- (2) SPACE shall mean a piece of land that is used or intended to be used for an underground burial of human remains. Space is synonymous with grave and grave space.
- (3) GRAVE SPACE shall mean a piece of land that is used or intended to be used for an underground burial of human remains. Grave space is synonymous with grave and space.
- (4) LOT shall mean eight contiguous graves or spaces.
- (5) NICHE shall mean an enclosure that is used or intended to be used for the aboveground inurnment of human remains.
- (6) MEMORIAL shall mean either a marker or a monument.

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- | (7) MONUMENT shall mean a gravestone placed in the ground to designate a lot.
- | (8) MARKER shall mean a gravestone placed in the ground to designate a grave or space.
- | (9) PERPETUAL CARE shall mean “permanent” care and maintenance of the cemetery grounds and gravesites within.

| (Ord. 2013-11, [Ord. 2023-07](#))